

**SANFORD BOARD OF ADJUSTMENT
REGULAR MEETING**

TUESDAY, DECEMBER 10, 2019, 6:00 PM

Buggy Company Bldg., 115 Chatham St. – 1st Floor, Buggy Conference Room

All exterior doors for the Buggy Company Building automatically lock at 5:00pm with the exception of the ground floor level entrance. Therefore, please park in the large parking area at the rear of the building, enter the building via the ground floor level entrance, and take the elevator to the first floor. The Buggy Conference Room is on your left when you exit the elevator.

CALL TO ORDER – 6:00 PM

- A. APPROVAL OF AGENDA** *(No minutes. Minutes from all prior meetings have been approved.)*
- B. DISCLOSURE OF CONFLICT OF INTEREST**
- C. OLD BUSINESS** *(None)*
- D. NEW BUSINESS**

1. Application by Mt. Carmel Pentecostal Holiness Church to obtain a Special Use Permit for a proposed religious complex (more than 350 seats) to be located on an 8.87 acre tract of land at the end of Tyrone Drive, adjoining Carr Creek Subdivision. The subject property is owned by Harry B. Williams and is developed with a mobile home addressed as 3203 Tyrone Drive. The site is located within the jurisdiction of the City of Sanford and is zoned Residential Single-family (R-20). Per the Unified Development Ordinance, Article 4 Zoning District Regulations, Section 4.6 Use Regulations, Table 4.6-1 Permitted Use Matrix, a “religious complex (more than 350 seats) new site” is permitted in the Residential Single-family (R-20) zoning district upon issuance of a Special Use Permit, subject all applicable standards of the UDO. The property is depicted on Lee County Tax Map 9661.02 as Tax Parcel 9661-79-1178-00 Lee County Land Records.

- E. OTHER BUSINESS** *(None, unless added by the board.)*
- F. ADJOURNMENT**

**** PLEASE REFERENCE THE ADDITIONAL INFORMATION PROVIDED AT THE
REAR OF THE AGENDA PACKAGE****

[Type here]

Opening statement for the Sanford Board of Adjustment

“THIS HEARING IS A QUASI-JUDICIAL EVIDENTIARY HEARING. THAT MEANS IT IS LIKE A COURT HEARING. STATE LAW SETS SPECIFIC PROCEDURES AND RULES CONCERNING HOW THIS BOARD MUST MAKE ITS DECISIONS. THESE RULES ARE DIFFERENT FROM OTHER TYPES OF LAND USE DECISIONS LIKE REZONING CASES.

“THIS BOARD’S DISCRETION IS LIMITED. THIS BOARD MUST BASE ITS DECISION ON COMPETENT, RELEVANT AND SUBSTANTIAL EVIDENCE IN THE RECORD. A QUASI-JUDICIAL DECISION IS NOT A POPULARITY CONTEST. IT IS A DECISION LIMITED BY THE STANDARDS IN THE SANFORD UNIFIED DEVELOPMENT ORDINANCE (THE UDO) AND BASED ON THE FACTS PRESENTED AT THIS HEARING. IF YOU ARE SPEAKING AS A WITNESS, PLEASE FOCUS ON THE FACTS AND STANDARDS, NOT PERSONAL PREFERENCE OR OPINION.

“THIS MEETING IS OPEN TO THE PUBLIC. EVERYONE IS WELCOME TO WATCH. PARTICIPATION IS LIMITED. ONLY PARTIES WITH STANDING MAY PARTICIPATE BY PRESENTING EVIDENCE, CALLING WITNESSES AND MAKING LEGAL ARGUMENTS. PARTIES WITH STANDING ARE LIMITED TO THE APPLICANT, LOCAL GOVERNMENTS (INCLUDING THE CITY OF SANFORD) AND PERSONS WHO CAN SHOW THEY WILL SUFFER SPECIAL DAMAGES.

“OTHER INDIVIDUALS MAY SERVE AS WITNESSES WHEN CALLED BY THE BOARD. WITNESS TESTIMONY IS LIMITED TO FACTS, NOT OPINIONS. FOR CERTAIN TOPICS THE BOARD IS REQUIRED TO HEAR OPINION TESTIMONY FROM EXPERT WITNESSES. THESE TOPICS INCLUDE OPINIONS ON THE IMPACT ON PROPERTY VALUES AND INCREASED TRAFFIC CAUSED BY THE PROPOSAL. INDIVIDUALS PROVIDING EXPERT OPINIONS MUST BE QUALIFIED AS EXPERTS AND PROVIDE THE FACTUAL EVIDENCE UPON WHICH THEY BASE THEIR EXPERT OPINION.

“WITNESSES MUST SWEAR OR AFFIRM THEIR TESTIMONY. WITNESSES MUST BE RECOGNIZED BY THE CHAIR, SPEAK INTO THE MICROPHONES AND BEGIN THEIR TESTIMONY WITH THEIR NAME AND ADDRESS. THE SECRETARY WILL USE THE RECORDING TO MAKE THE MINUTES.

“AT THIS TIME, WE WILL ADMINISTER THE OATH FOR ALL INDIVIDUALS WHO INTEND TO SPEAK TONIGHT. THE SECRETARY WILL HOLD THE BIBLE. THE CHAIR (I) WILL READ THE OATH.”

Based on Owens and Lovelady, *Quasi-Judicial Handbook: A Guide for Boards Making Development Regulation Decisions* UNC School of Gov’t (2017) at page 35

\$500 FEE

(SUP for a telecommunications tower requires an additional \$4,000.00 application fee.)

Application No. 2019-12-01 BOA

Energov Case

No. _____

SPECIAL USE PERMIT APPLICATION

Circle Jurisdiction That Applies:

City of Sanford

Lee County

Town of Broadway

The Special Use Permit Process

A Special Use Permit is necessary when a proposed land use may have some consequences that may warrant review by the Board of Adjustment. This review is to insure there will be no detrimental effects to surrounding properties, nor will it be contrary to the public interest.

In order to apply for a Special Use Permit, a completed application along with the application fee and all supporting documentation is required to be submitted to the Sanford/Lee County Zoning & Design Review Department at 115 Chatham Street, Sanford, NC. Information regarding the submittal requirements, deadline dates, and meeting dates is provided in a separate handout labeled City of Sanford Board of Adjustment Deadlines, Meeting Dates & Info. that is available upon request. In order for the Board of Adjustment to grant approval of the Special Use Permit, the applicant must provide all of the information required.

If the Board finds that all approval criteria have been met, they may impose reasonable conditions upon the granting of any Special Use Permit to insure public health, safety, and general welfare. If the application is approved, the applicant may then proceed with securing all required local and state permits necessary for the endeavor. Failure to follow conditions set in the approval process would result in a violation of the Sanford / Broadway / Lee County Unified Development Ordinance (UDO).

For questions concerning this process, you may contact the Sanford/Lee County Zoning & Design Review Dept. on the first floor of the historic Buggy Company Building at 115 Chatham Street in downtown Sanford during regular business hours M-F 8:00am to 5:00pm. Staff does require an in person consultation with the applicant and property owner prior to accepting a Special Use Permit submittal so that we can fully explain the process and legalities associated with this request. For questions you may contact Amy J. McNeill, Zoning Administrator at 919-718-4656, Ext. 5397 or amy.mcneill@sanfordnc.net.

TO THE BOARD OF ADJUSTMENT:

I hereby petition the Board of Adjustment to grant the following Special Use Permit request:

Applicant's Name: MT. CARMEL PENTECOSTAL HOLLINESS CHURCH

Address: 620 W. MAIN STREET, SANFORD, NC 27330

Telephone No.: 919 717-5702

Email Address: HLHARRIS@NCCU.EDU

Property Owner's Name: HARRY B. WILLIAMS

Address: 11226 EMPIRE LAKES DRIVE, RALEIGH, NC 27617

Telephone No.: 919 572-6316

Email Address: HBW5050@AOL.COM

Parcel Information

Existing Use of Property: SINGLE FAMIL HOUSING – 2 UNITS

Proposed Use of Property: RELIGIOUS COMPLEX (MORE THAN 350 PEOPLE)

Existing Zoning: R-20

Property Location: 3203 TYRONE DRIVE, SANFORD, NC

Property Acreage: 7.602 ACRES

Tax Map and Parcel No. (PIN): 9661-79-1178-00

Land Use of Adjacent Properties (Provide plat map if available)

North: LIGHT INDUSTRIAL (LI)

South: SINGLE FAMILY HOUSING (R-20)

East: LIGHT INDUSTRIAL (LI)

West: VACANT (R-20)

General Requirements

The UDO imposes the following general requirements on the use requested by the applicant. Under each requirement, the applicant should explain, with reference to the attached plans where applicable, how the proposed use satisfies these requirements.

1. That the use will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved;

RELIGIOUS COMPLEXES ARE ALLOWED IN RESIDENTIAL AREA PER THE CITY OF SANFORD/LEE COUNTY UDO PROVING THE EXISTENCE OF RELIGIOUS COMPLEXES TO BE IN HARMONY WITH RESIDENTIAL NEIGHBORHOODS AND NOT TO BE A PUBLIC HEATH OR SAFETY HAZARD.

2. That the use meets all required conditions and specifications;

THE SITE PLAN AND CONSTRUCTION DRAWINGS MEET THE MINIMUM DESIGN REQUIREMENTS OF THE CITY OF SANFORD/LEE COUNTY UDO, BEEN REVIEWED BY ALL APPLICABLE AUTHORITIES AND APPROVED BY THE CITY OF SANFORD/LEE COUNTY TRC PROCESS.

3. That the use will not substantially injure the value of adjoining or abutting property, or that the use is a public necessity; and

BASED ON A REVIEW OF COMPARABLE PROPERTIES PREPARED BY A NORTH CAROLINA LICENSED APPRAISER, THE PROPOSED USE WILL NOT INJURE THE VALUE OF ADJOINING OR ABUTTING PROPERTY.

4. That the location and character of the use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located and in general conformity with the Sanford/Lee County Land Use Plan.

THE PROPOSED RELIGIOUS IS POSITIONED TO DISTANCE ITSELF FROM THE SURROUNDING AREA BY HAVING THE DEVELOPED AREA SET BACK FROM THE EXISTING DEVELOPMENT TO CREATE A HARMONIC TRANSITION, AND THE CITY OF SANFORD/LEE COUNTY PLACE TYPE IS COUNTRY SIDE; THAT ACKNOWLEDGES RELIGIOUS COMPLEXES OF ANY SIZE AS A PERMITTED USE.



The UDO also imposes SPECIFIC REQUIREMENTS on the use(s) requested by the applicant. The applicant should be prepared to demonstrate that, if the land is used in a manner consistent with the plans, specifications, and other information presented to the Board, the proposed use(s) will comply with specific requirements concerning the following:

Nature of use (type, number of units, and/or area):

RELIGIOUS COMPLEX (MORE THAN 350 PEOPLE), FELLOWSHIP HALL,
VARIOUS RECREATIONAL AREAS

Accessory uses (if any): POSSIBLE DAY CARE

Setback Provisions

Principle Use: Front: 30' Side: 15' Rear: 30'

Accessory Use: Front: 30' Side: 5' * Rear: 5' *

* LESS THAN 800 SQUARE FEET

Height Provisions

Principle Use: 40'

Accessory Use: 40' **

** 15' WITHIN PRINCIPLE STRUCTURE
SETBACK YARD

Off street parking and loading provisions: (include calculations)

500 SEAT SANCTUARY

1 SPACE/4 SEATS (500 / 4 = 125)

PROVIDED 127 PARKING SPACES

121 REGULAR + 7 HC TO INCLUDE 4 VAN ACCESSIBLE

Sign provisions: (include sketch drawing with dimensions)

SEE APPROVED SITE PLAN

Provisions for screening landscaping and buffering: (if required add to site plan)

SEE APPROVED LANDSCAPE PLAN

Provisions for vehicular circulation and access to streets: (provide NCDOT permit if necessary)

SEE APPROVED SITE PLAN

Adequate and safe design for grades, paved curbs and gutters, drainage systems, and treatment or turf to handle storm waters, prevent erosion, subdue dust:

SEE APPROVED GRADING PLAN

An adequate amount and safe location of play areas for children and other recreational uses according to the concentration of residential property:

SEE APPROVED SITE PLAN

Compliance with overlay zones including but not limited to the latest adopted Thoroughfare Plan:

PROPOSED DEVELOPMENT IS NOT LOCATED WITHIN AN OVERLAY ZONE

Compliance with the Flood Damage Prevention Ordinance:

PROPOSED DEVELOPMENT IS NOT LOCATED WITHIN A FLOOD PLAIN

Other requirements may be requested by the applicant or specified by the Board for protection of the public health, safety, welfare, and convenience:

NONE REQUESTED

Predefined Standards

Some Special Uses as listed in the UDO also have additional specific standards imposed. Refer to the Unified Development Ordinance, Article 5 Supplemental Development Regulations, for these requirements. Each standard should be addressed in the site plan submitted along with this application.

Required Attachments/Submittals

City of Sanford: Sixteen (16) copies of the site plan and all supporting documentation shall be submitted with the completed application.

Lee County: Twelve (12) copies of the site plan and all supporting documentation shall be submitted with the completed application.

Town of Broadway: Twelve (12) copies of the site plan and all supporting documentation shall be submitted with the completed application.

CERTIFICATION

I hereby acknowledge that the information contained herein is true. It is further understood that this application will be reviewed for completeness and accuracy and that it shall not be scheduled for official consideration until all required contents in proper form and a \$240 fee payable to the City of Sanford are submitted to the City of Sanford/Lee County Planning & Development Department.

Julia A. Harris
Julia A. Harris

Signature of Applicant (Print & Sign)
This signature to be notarized below.

Date 12/31/2018

STATE OF NORTH CAROLINA
LEE COUNTY

I, Stephanie J. McQuain, a Notary Public for Lee County and State
of North Carolina do hereby certify that
Julia A. Harris personally appeared before me on
this day and acknowledged the due execution of the foregoing Instrument. Witness my
hand and official seal, this the 31st day of
December, 2018.



Stephanie J. McQuain
Notary Public Signature

My Commission expires:

October 20, 2021

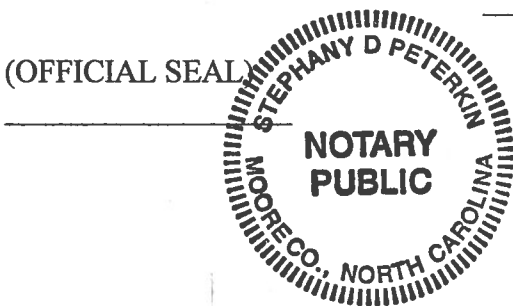
Harry B. Williams
Harry B. Williams

Signature of Property Owner (Print & Sign)
This signature to be notarized below.

Date 1-3-2019

STATE OF NORTH CAROLINA
LEE COUNTY

I, Stephanie J. McQuain, a Notary Public for Lee County and State
of North Carolina do hereby certify that
Harry B. Williams personally appeared before me on
this day and acknowledged the due execution of the foregoing Instrument. Witness my
hand and official seal, this the 3rd day of
January, 2019.



Stephanie D. Peterkin
Notary Public Signature

My Commission expires:

1/20/2022

Home-Place

Mt. Carmel Pentecostal Holiness Church
3203 Tyrone Drive
Sanford, NC

PIN: 9661-79-1178-00

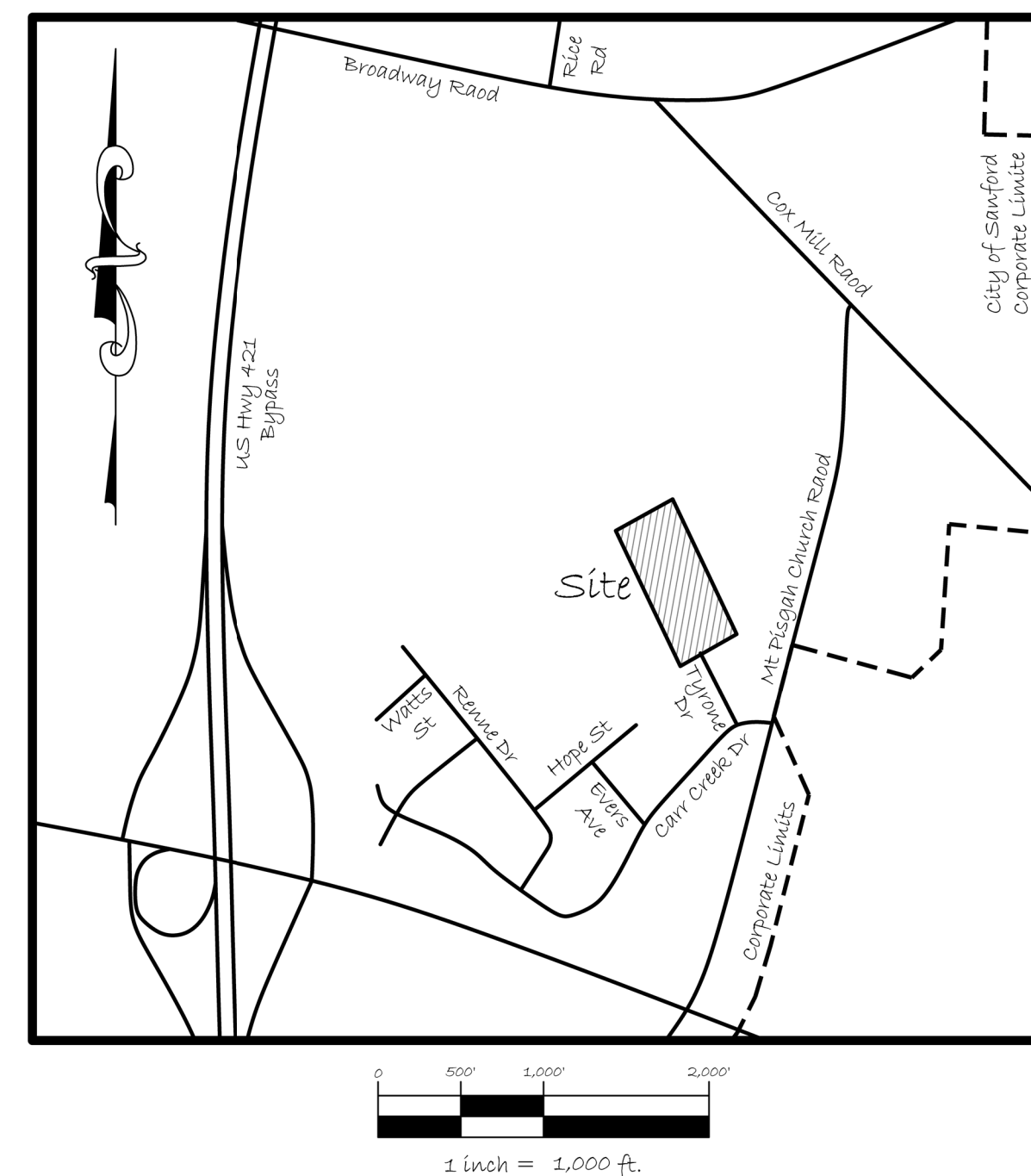
Current Owner:

Harry B. Williams
11226 Empire Lakes Drive
Raleigh, NC 27617
919 572-6361

Applicant:

Mt. Carmel Pentecostal
Holiness Church
620 W. Main Street
Sanford, NC 27332
919 717-5702
lharris@nccu.edu

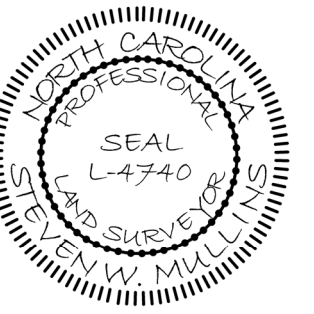
Vicinity Map



Designer:
ATLAS Surveying & Mapping
1503 Old Caribton Road
Sanford, NC 27330
919 721-9618
AtlasSurveyingAndMapping@gmail.com



31 December 2018



ATLAS
Surveying & Mapping
1503 Old Caribton Road
Sanford, NC 27330
(919) 721-9618
AtlasSurveyingAndMapping@gmail.com

Project:
Home-Place
3203 Tyrone Drive
Sanford, NC 27332
Cover Sheet

Mt. Carmel Pentecostal
Holiness Church
620 W. Main Street
Sanford, NC 27332
(919) 717-5702

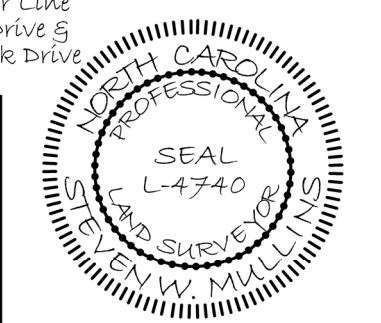
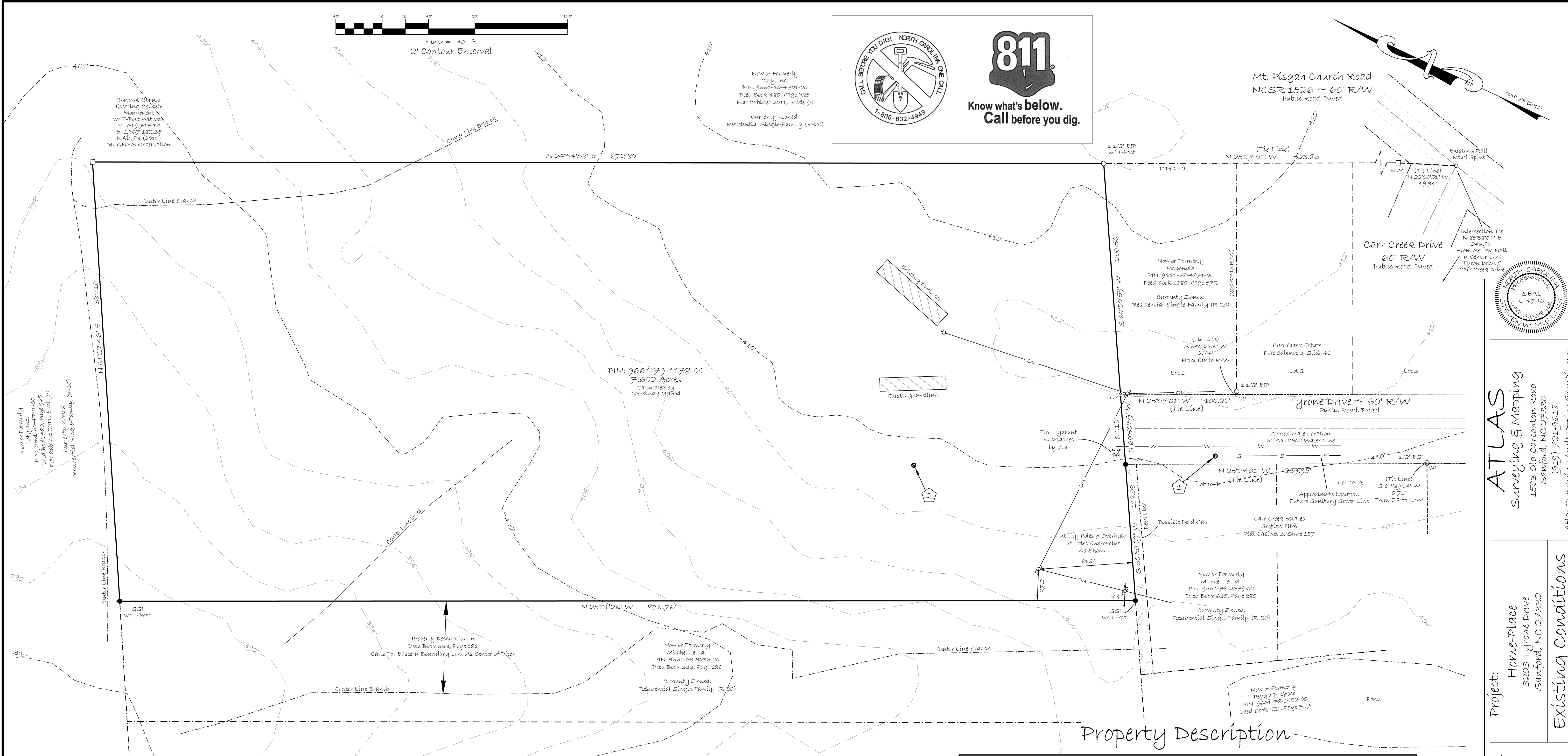
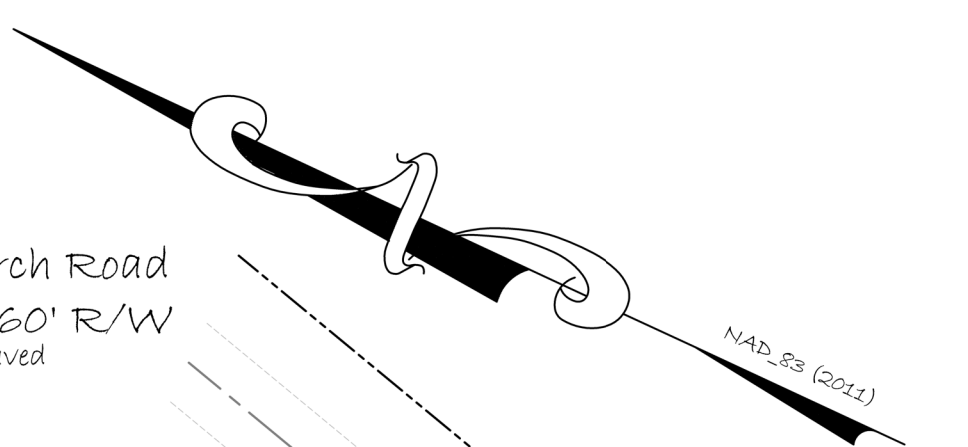
Date:
31 Dec. 2018

Revisions
26 March 2019
15 April 2019

C1



1 inch = 40 ft.
2' Contour Interval



ATLAS
Surveying & Mapping
1505 Old Carabon Road
Sanford, NC 27330
(919) 721-9618
AtlasSurveyingAndMapping@gmail.com

Project: Home-Place
3203 Tyrone Drive
Sanford, NC 27332
Existing Conditions

Mt. Carmel Pentecostal
Holiness Church
620 W. Main Street
Sanford, NC 27332
(919) 717-5702

Date:
31 Dec. 2018
Revisions
26 March 2019

C2

1 Existing Conditions
C2 (1" = 40')

Property Description
BEING ALL THAT PIECE OR PARCEL OF LAND SITUATED IN THE CITY OF SANFORD, LEE COUNTY, NORTH CAROLINA, PIN: 9661-79-1178-00, BOUNDED ON THE NORTH AND EAST BY PROPERTIES NOW OR FORMERLY BELONGING TO COTY, INC., ON THE SOUTH BY THE NORTHERN RIGHT OF WAY OF TYRONE DRIVE, AS WELL AS SEPARATE PROPERTIES NOW OR FORMERLY BELONGING TO McDONALD AND MITCHELL, ET. AL., AND ON THE WEST BY PROPERTIES NOW OR FORMERLY BELONGING TO MITCHELL, ET. AL., AND BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING FROM AN EXISTING CONCRETE MONUMENT HAVING A NORTHING OF 619,717.34 FEET, EASTING OF 1,967,182.35 FEET AND A COMBINED SCALE FACTOR OF 0.9998576, NAD 83 (2011) PER GNSS OBSERVATION, SAID MONUMENT BEING A COMMON BOUNDARY CORNER WITH WITH PROPERTY NOW OR FORMERLY OWNED BY COTY, INC., PIN: 9661-60-4701-00, RECORDED IN DEED BOOK 480, PAGE 925 AND ALSO REFERENCED IN PLAT CABINET 2011, SLIDE 90; THENCE RUNNING ALONG SAID COTY PROPERTY SOUTH 24 DEGREES 54 MINUTES 58 SECONDS EAST, A DISTANCE OF 872.80 FEET TO AN EXISTING 1 1/2" IRON PIPE, SAID PIPE BEING A COMMON BOUNDARY CORNER WITH PROPERTY NOW OR FORMERLY OWNED BY McDONALD, PIN: 9661-78-4871-00, RECORDED IN DEED BOOK 1380, PAGE 572 AND BEING LOT 1 OF PLAT CABINET 3, SLIDE 41; THENCE TURNING, LEAVING SAID COTY PROPERTY AND RUNNING SOUTH 60 DEGREES 50 MINUTES 59 SECONDS WEST, A DISTANCE OF 200.50 FEET TO A CALCULATED POINT, SAID POINT BEING LOCATED ON THE NORTHEASTERN END OF TYRONE DRIVE; THENCE CONTINUING, LEAVING SAID McDONALD PROPERTY AND RUNNING SOUTH 60 DEGREES 50 MINUTES 59 SECONDS WEST, A DISTANCE OF 60.15 FEET TO A SET 3/4" SOLID IRON, SAID POINT BEING LOCATED ON THE NORTHWESTERN END OF TYRONE DRIVE AND BEING A COMMON BOUNDARY CORNER WITH PROPERTY NOW OR FORMERLY OWNED BY MITCHELL, ET. AL., PIN: 9661-78-2679-00, RECORDED IN DEED BOOK 635, PAGE 880 AND BEING LOT 16-B OF PLAT CABINET 3, SLIDE 157; THENCE CONTINUING, LEAVING SAID TYRONE DRIVE AND RUNNING SOUTH 60 DEGREES 50 MINUTES 59 SECONDS WEST, A DISTANCE OF 118.08 FEET TO A SET 3/4" SOLID IRON, SAID IRON BEING A COMMON BOUNDARY CORNER WITH PROPERTY NOW OR FORMERLY OWNED BY MITCHELL, ET. AL., PIN: 9661-69-9036-00, RECORDED IN DEED BOOK 333, PAGE 186; THENCE TURNING, LEAVING SAID LOT 16-B AND RUNNING NORTH 25 DEGREES 01 MINUTES 26 SECONDS WEST, A DISTANCE OF 876.76 FEET TO A SET 3/4" SOLID IRON, SAID IRON BEING A COMMON BOUNDARY CORNER WITH PROPERTY NOW OR FORMERLY OWNED BY COTY, INC., PIN: 9661-60-4701-00, RECORDED IN DEED BOOK 480, PAGE 925 AND ALSO REFERENCED IN PLAT CABINET 2011, SLIDE 90; THENCE TURNING, LEAVING SAID MITCHELL PROPERTY AND RUNNING NORTH 61 DEGREES 27 MINUTES 46 SECONDS EAST, A DISTANCE OF 380.10 FEET TO THE POINT OF BEGINNING CONTAINING 7.602 ACRES, MORE OR LESS, ACCORDING TO THE SURVEY BY ATLAS SURVEYING AND MAPPING, STEVEN W. MULLINS, PLS 4740, DATED DECEMBER 3, 2018, AND BEARING PROJECT NO. 18-230.

Legend

ECM	Existing Concrete Monument
SCM	Set Concrete Monument
SSI	Set Solid Iron
SN	Set Nail in C Road
CP	Calculated Point
EP	Existing Property Corner (As Noted)
ESI	Existing Solid Iron
EAX	Existing Axle
FH	Existing Fire Hydrant
ULP	Existing Utility Pole
OLP	Existing Light Pole
OU	Overhead Utility
N/F	Now or Formerly
R/W	Right of Way
RCP	Reinforced Concrete Pipe
PI	Parcel Identification Number
NTS	Not To Scale
NTS	Right of Way
---	Property Line (Not Surveyed)
---	Center Line (C Road)
---	Easement Line
---	Existing Water Course

Key Notes

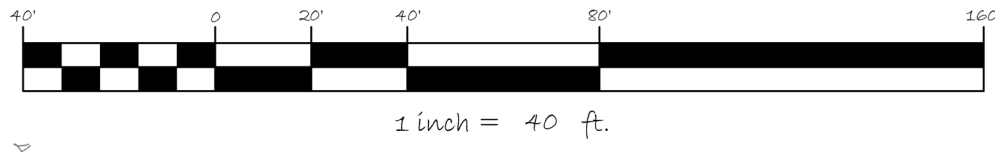
1	Future Sanitary Sewer Manhole City of Sanford, NC, Carr Creek Estates, Petition Area 'D' Project: 17-007
2	Existing Well To Be Abandoned

Topographic Information Scaled From Information Obtained From Lee County, NC GIS Website

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

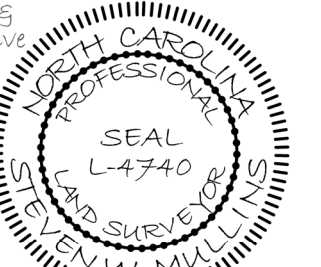


**Know what's below
Call before you dig.**



Know what's below.
Call before you dig.

Mt. Pisgah Church Road
NCSR 1526 ~ 60' R/W
Public Road, Paved



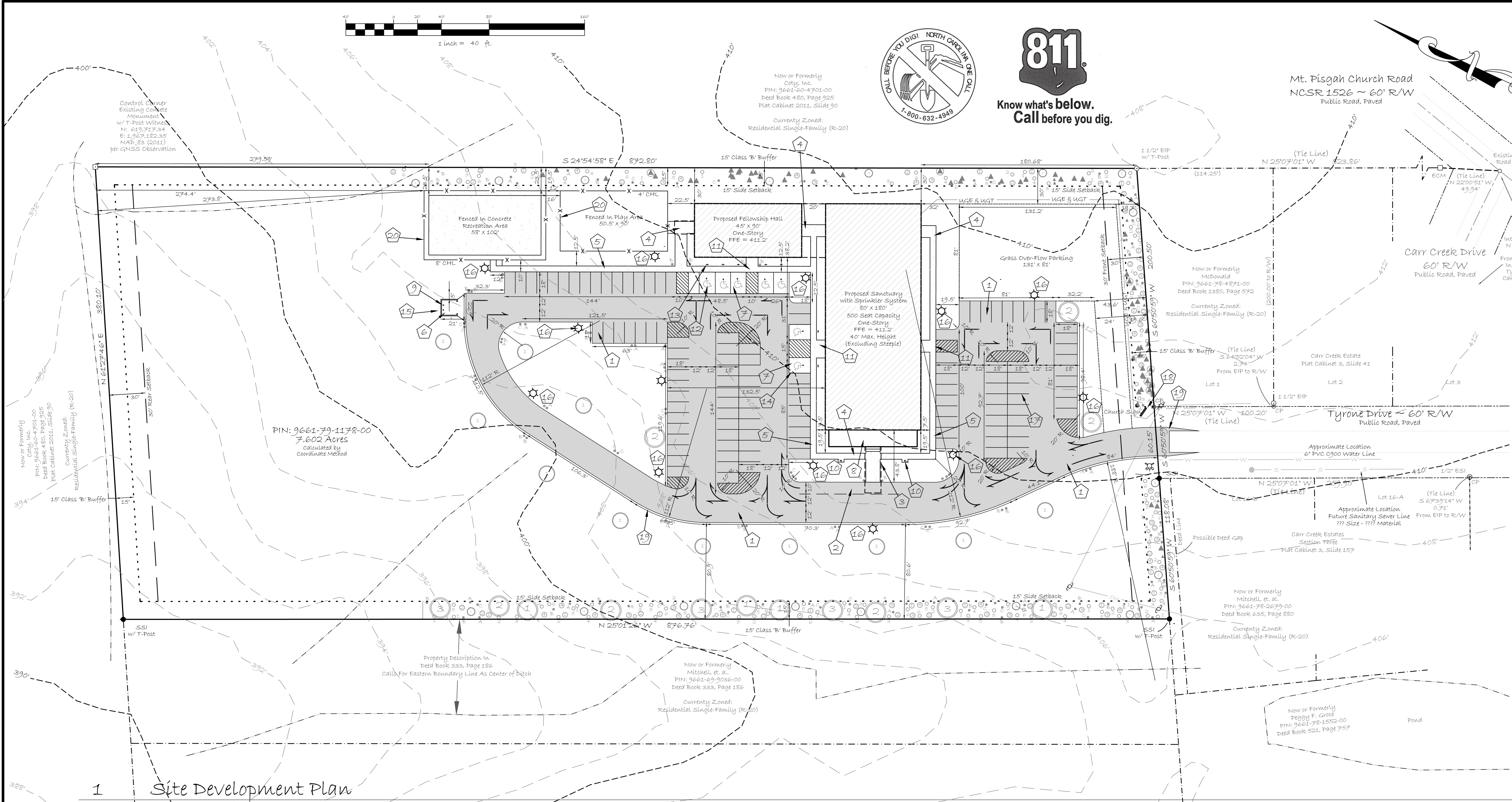
ATLAS
Surveying & Mapping
1503 Old Carabon Road
Sanford, NC 27330
(919) 721-9618
AtlasSurveyingAndMapping@gmail.com

Project:
Home-Place
3203 Tyrone Drive
Sanford, NC 27332
Site Development Plan

Mt. Carmel Pentecostal
Holiness Church
620 W. Main Street
Sanford, NC 27332
(919) 717-5702

Date:
31 Dec. 2018
Revisions
26 March 2019
15 March 2018

C3



1
C3 Site Development Plan
(1" = 40')

General Notes

- * All On Site Concrete To Be 4,000 PSI
- * Site Dimensions To Face of Concrete Foundation, Sidewalk, Property Line or Center Line of Striping Unless Noted Otherwise
- * Coordinate Work With Other Site Related Development Drawings
- * Refer To Structural Drawings For Building Dimensions & Layout of Sidewalks Adjacent To Building Perimeter
- * Asphalt Paving Shown, If Gravel Surface Is To Be Utilized, Then The Placement of Curb Stops & Bollards Will Be Required To Delineate Parking Spaces & Travelways

Key Notes

- | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> 1 Asphalt Paving, Refer To Detail 1/C7 2 10' Wide Paved Drop-Off Lane 3 Covered Walkway 4 5.0' Concrete Sidewalk or Door Landing, Refer To Detail 6/C7 5 5.0' Concrete Sidewalk Curb, Refer To Detail 3/C7 6 Concrete Paving-Heavy Duty, Refer To Detail 2/C7 7 Concrete Paving-Standard, Refer To Detail 2/C7 8 Covered Porch, 14' x 74' 9 Steel Bollard, Refer To Detail 4/C7 10 Flag Pole, Owner Installed 11 Accessible Concrete Curb Ramp, Refer To ADA Parking Detail 1/C7.2 | <ul style="list-style-type: none"> 12 Accessible Parking Symbol Pavement Striping, Refer To Detail 11/C7 13 Accessible Parking Sign, Refer To Detail 2/C7.2 14 Accessible Parking Space With Access Aisle (ADA Compliant) To Slope 2% Maximum In All Directions 15 Refuse Enclosure, Refer To Detail 1/C7.1 & 2/C7.1 16 Parking Lot Lighting, Refer To Final Utility Plan For Type & Construction 17 4' Wide Pavement Striping As Shown Using Highway Marking Paint - Yellow (2 Coats) 18 Site Sign & Lighting, Refer To Final Utility Plan For Additional Requirements 19 Limits Of New Paving, Match Existing Pavement Transition Elevations 20 4' / 8' Chain Link Fence, Installed per Building Code |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Site Data

Total Usable Area: 7.602 Acres	Parking Spaces Required: 1 Space per 4 Seats (125 Spaces) Including 6 HC with 1 Van Accessible
Jurisdiction: City of Sanford	Parking Spaces Provides: 127 Spaces Including 7 HC with 4 Van Accessible
Current Zoning: Residential Single-Family (R-20)	Impervious Surface Areas: Parking Lot - 63,244 Sq. Ft. Sanctuary - 15,115 Sq. Ft. Sidewalk - 5,115 Sq. Ft. Basketball - 4,700 Sq. Ft. Fellowship - 4,050 Sq. Ft. Total = 92,224 Sq. Ft. 2.117 Acres 28% of Total Site
Current Use: Single Family Housing - 2 Units	Proposed Use: Religious Complex (500 Seats with Sprinkler System)
Minimum Building Setbacks: Front = 30 Feet Side = 15 Feet Rear = 30 Feet	

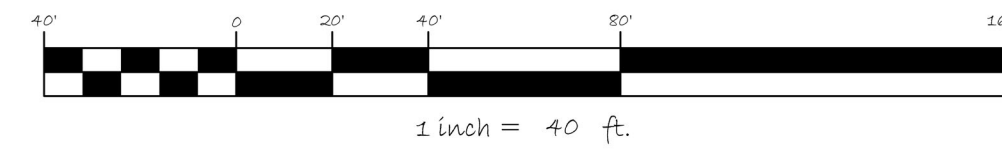
CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



Know what's below
Call before you dig.

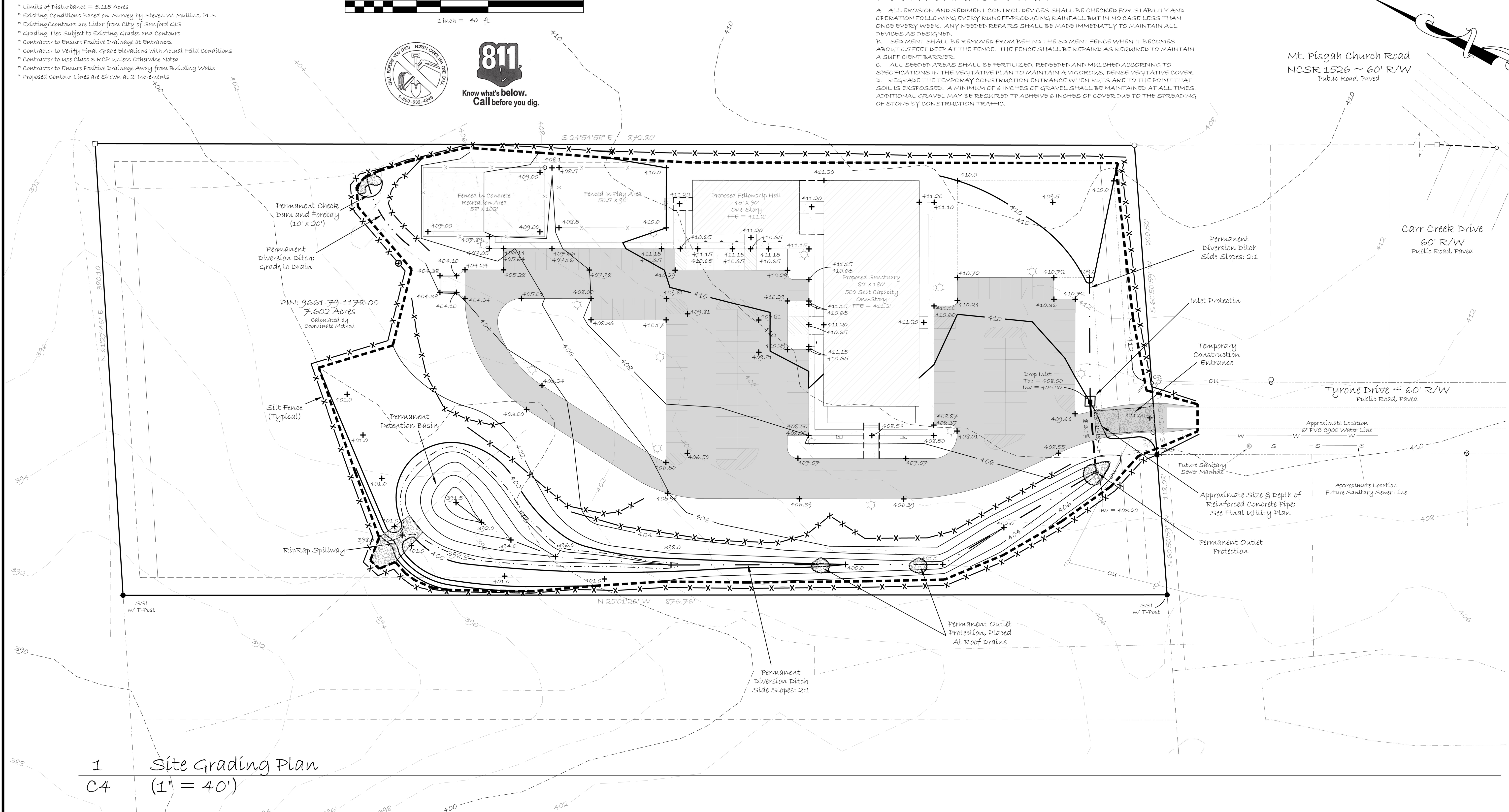
NOTES

- * Limits of Disturbance = 5.115 Acres
- * Existing Conditions Based on Survey by Steven W. Mullins, PLS
- * Existing Contours are Lidar from City of Sanford GIS
- * Grading Ties Subject to Existing Grades and Contours
- * Contractor to Ensure Positive Drainage at Entrances
- * Contractor to Verify Final Grade Elevations with Actual Field Conditions
- * Contractor to use Class 3 ROP unless Otherwise Noted
- * Contractor to Ensure Positive Drainage Away from Building Walls
- * Proposed Contour Lines are Shown at 2' Increments



MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL DEVICES AS DESIGNED.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5 FEET DEEP AT THE FENCE. THE FENCE SHALL BE REPAIRED AS REQUIRED TO MAINTAIN A SUFFICIENT BARRIER.
- ALL SEEDED AREAS SHALL BE FERTILIZED, RESEDED AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- REGRABE THE TEMPORARY CONSTRUCTION ENTRANCE WHEN RUTS ARE TO THE POINT THAT SOIL IS EXPOSED. A MINIMUM OF 6 INCHES OF GRAVEL SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL GRAVEL MAY BE REQUIRED TO ACHIEVE 6 INCHES OF COVER DUE TO THE SPREADING OF STONE BY CONSTRUCTION TRAFFIC.



1 Site Grading Plan
C4 (1" = 40')

CONSTRUCTION SEQUENCE

- CALL NCDENR LAND QUALITY SECTION (919) 791-4200 PRIOR TO COMMENCING CONSTRUCTION.
- SITE IS CLEARED AND GRUBBED WITHIN LIMITS OF DISTURBANCE AS SHOWN ON THE PLAN.
- CONTRACTOR TO MAINTAIN EROSION CONTROL DEVICES ACCORDING TO MAINTENANCE PLAN THROUGHOUT CONSTRUCTION.
- INSTALL CONSTRUCTION ENTRANCE WITH DRIVEWAY CULVERT PER PLAN WITH CHECKDAMS EXISTING DITCH.
- INSTALL TEMPORARY SILT FENCE IN LOCATIONS AS SHOWN ON PLANS.
- INSTALL TEMPORARY DIVERSION DITCHES AS SHOWN. STABILIZE WITH TEMPORARY/PERMANENT LINING AND CHECK DAMS WITHIN 7 DAYS PER THE STABILIZATION TIME TABLE.
- ROUGH GRADE SITE TO SUBGRADE WITHIN LIMITS OF DISTURBANCE
- CONTRACTOR TO STABILIZE AND SEED ALL DENuded AREAS IF LAND DISTURBING ACTIVITIES WILL NOT COMMENCE AGAIN WITHIN 7 OR 14 CALENDER DAYS. REFERENCE NCDENR GROUND STABILIZATION TIMEFRAMES.
- ONCE ROUGH GRADING IN PARKING LOT IS COMPLETE AND RUNOFF IS CONVEYED TOWARDS DETENTION POND REMOVE DIVERSION DITCHES IN ORDER TO GRADE BUILDING PAD. MAINTAIN SILT FENCE BELOW BUILDING PAD.
- FINE GRADE BUILDING PAD. INSTALL STONE BASE AND TEMPORARY SEED TO ALL DENuded AREAS PRIOR TO BEGINNING BUILDING CONSTRUCTION.
- BEGIN BUILDING CONSTRUCTION. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING THROUGHOUT CONSTRUCTION.
- INSTALL UNDERGROUND UTILITIES PER PROPOSED UTILITY PLAN.
- FINE GRADE PARKING AREAS. ADD STONE AS NEEDED.
- FINE GRADE REMAINING LANDSCAPE AREAS. PROVIDE PERMANENT GROUND COVER PER LANDSCAPING PLAN.
- WHEN THE SITE IS FULLY STABILIZED, REMOVE TEMPORARY EROSION CONTROL MEASURES.
- CALL NCDENR LAND QUALITY FOR FINAL INSPECTION (919) 791-4200

SEEDBED PREPARATION

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTIRE AREA TO 6 INCHES DEEP.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LINE FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL.
- CONTINUE TILLAGE UNTIL WELL PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- SEED ON FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDBED AREAS AND MAKE ANY NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED REESTABLISH THE FOLLOWING TIME, FERTILIZER, AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

APPLICATION RATES
 AGRICULTURAL LIMESTONE - 2 TONS/ACRE
 FERTILIZER - 10-10-10 ANALYSIS @ 1000 LBS/ACRE
 SUPERPHOSPHATE - 500 LBS/ACRE OF 20% ANALYSIS
 MULCH - 2 TONS (4-8 BALE) STRAW/ACRE
 ANCHOR - USE LIQUID ASPHALT @ 400 GALS/ACRE OR EMULSIFIED ASPHALT @ 300 GALS/ACRE

SEEDING SCHEDULE

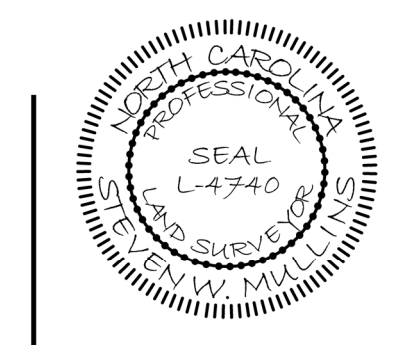
PERMINATE SEEDING
 SPECIES:
 FESCUE OR CENTAPEDE SOD RECOMMENDED (SEE LANDSCAPE PLAN)

CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENuded AREAS.

TEMPORARY SEEDING
 *TEMPORARY SEEDING IS REQUIRED IF PERMANENT SEEDING CAN NOT BE DONE WITHIN A REASONABLE TIMEFRAME.

WINTER (OCT 26 - JAN 31): RYE (GRAIN) 220 LBS/ACRE
 SUMMER (APRIL 1 - AUG 15): GERMAN MILLET @ 40 LBS/ACRE

CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



ATLAS
 Surveying & Mapping
 1503 Old Carabon Road
 Sanford, NC 27330
 (919) 721-9618
 AtlasSurveyingAndMapping@gmail.com

Project:
 Home-Place
 3203 Tyrone Drive
 Sanford, NC 27332

Site Grading Plan

Mt. Carmel Pentecostal Holiness Church
 620 W. Main Street
 Sanford, NC 27332
 (919) 717-5702

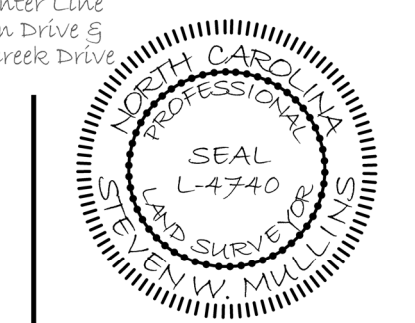
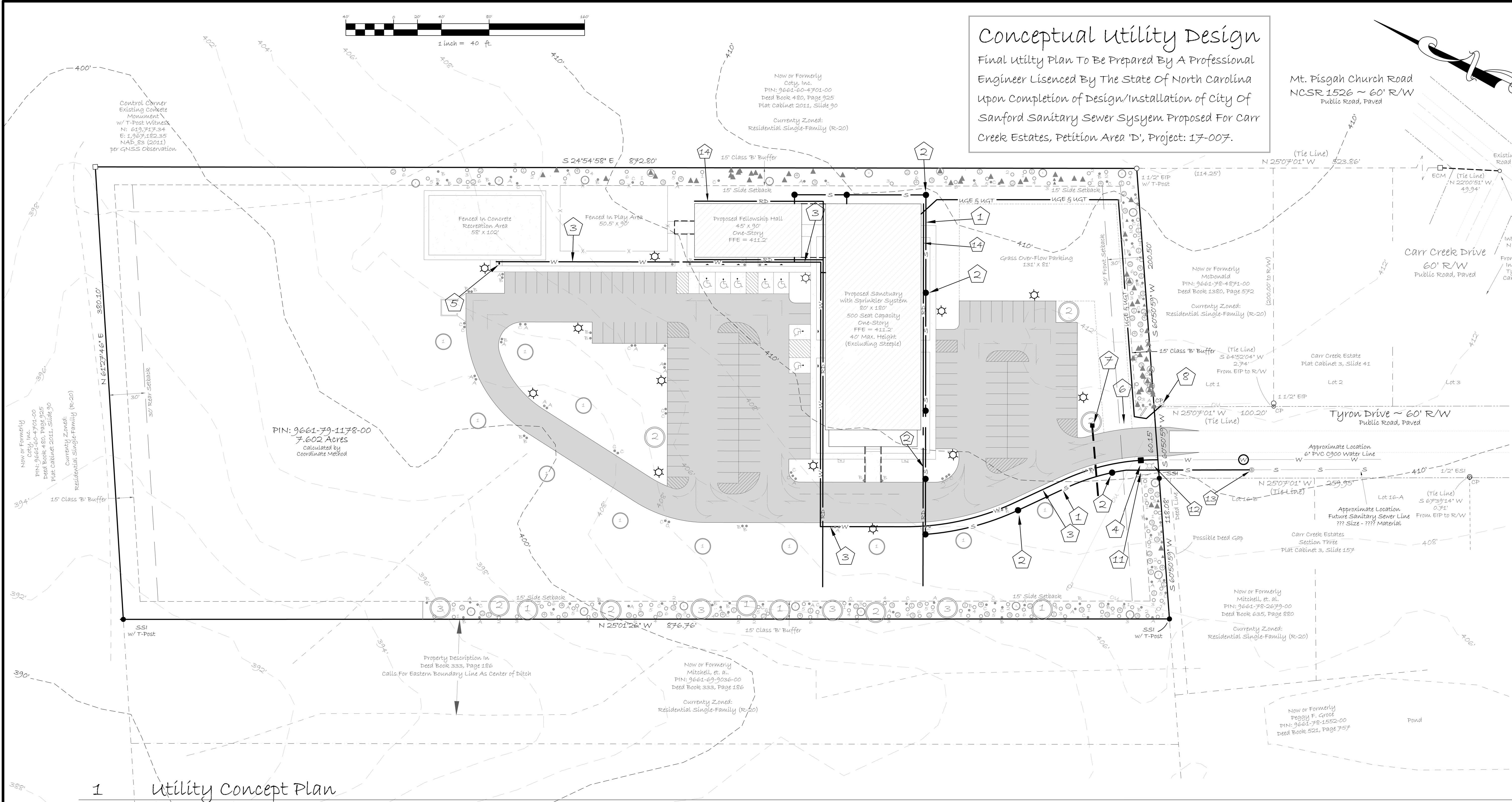
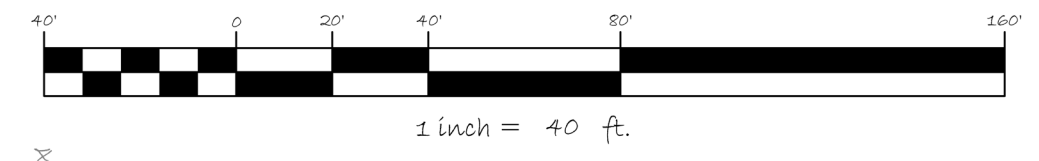
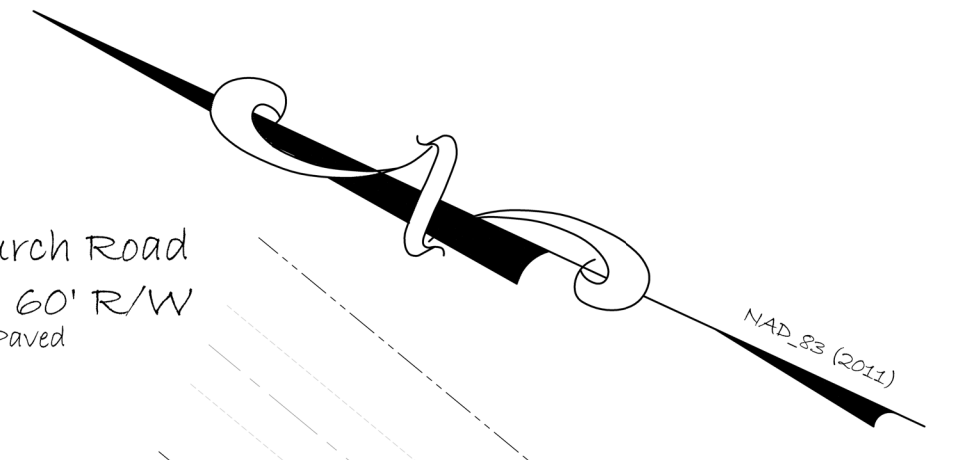
Date:
 31 Dec. 2018

Revisions
 26 March 2019

C4

Conceptual Utility Design
 Final utility Plan To Be Prepared By A Professional Engineer Liscenced By The State Of North Carolina Upon Completion of Design/Installation of City of Sanford Sanitary Sewer System Proposed For Carr Creek Estates, Petition Area 'D', Project: 17-007.

Mt. Pisgah Church Road
 NCSR 1526 ~ 60' R/W
 Public Road, Paved



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Project: Home-Place
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 Sanford, NC 27332
 Utility Concept

Mt. Carmel Pentecostal
 Holiness Church
 620 W. Main Street
 Sanford, NC 27332
 (919) 717-5702

Date: 27 Dec. 2018
 Revisions: 15 April 2019

C5

1 Utility Concept Plan
 C5 (1" = 40')

A Final Utility Plan Prepared by A NC Liscenced PE Must Be Approved Prior To The Approval/Installation of Sanitary Sewer System, City of Sanford, NC, Carr Creek Estates, Petition Area 'D', Project 14-007

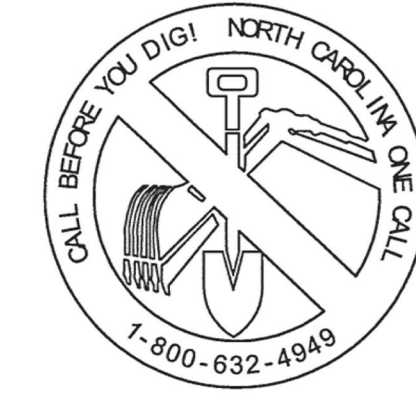
Key Notes

- | | |
|------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. Approximate Location Of 4" Sanitary Sewer Line; Final Location To Be Determined By NC Liscenced Engineer. | 8. Existing Utility Pole w/ Light & Transformer |
| 2. Approximate Location Of Sanitary Sewer Clean Out; Final Location To Be Determined By NC Liscenced Engineer. | 9. Approximate Location Of Underground Electric Service; Final Location To Be Determined By NC Liscenced Engineer. |
| 3. Approximate Location Of 1" SCH 40 PVC Water Service Line; Final Location To Be Determined By NC Liscenced Engineer. | 10. Approximate Location Of underground Phone Service; Final Location To Be Determined By NC Liscenced Engineer. |
| 4. Approximate Location Of Hot Box Set At Finished Grade; Final Location To Be Determined By NC Liscenced Engineer. | 11. Approximate Location - Route Domestic Service Up Into Hot Box, Install 1" RPZ Backflow Preventer - Provide Concrete Pad; Final Location To Be Determined By NC Liscenced Engineer. |
| 5. Outdoor Water Spigot Must Be Properly Shut Off During Freezing Conditions. | 12. Future Sanitary Sewer Manhole, City of Sanford, NC, Carr Creek Estates, Petition Area 'D', Project: 17-007 |
| 6. Approximate Location Of Underground Electrical Line; Final Location To Be Determined By NC Liscenced Engineer. | 13. Approximate Location of Roof Drains; Final Grade, Size & Location To Be Determined on Final Utility Plans |
| 7. Approximate Size Of Reinforced Concrete Pipe; Final Size To Be Determined By NC Liscenced Engineer. | 14. Approximate Location Of Hot Box Set At Finished Grade; Final Location To Be Determined on Final Utility Plans |

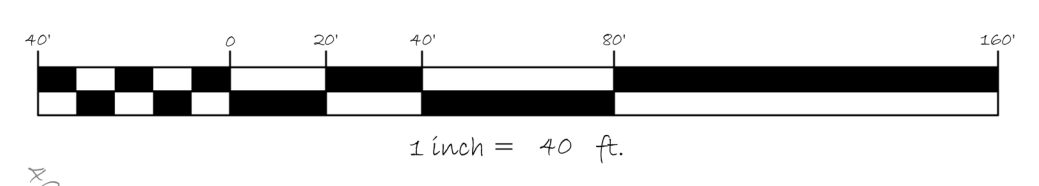
CAUTION:
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**Know what's below
 Call before you dig.**

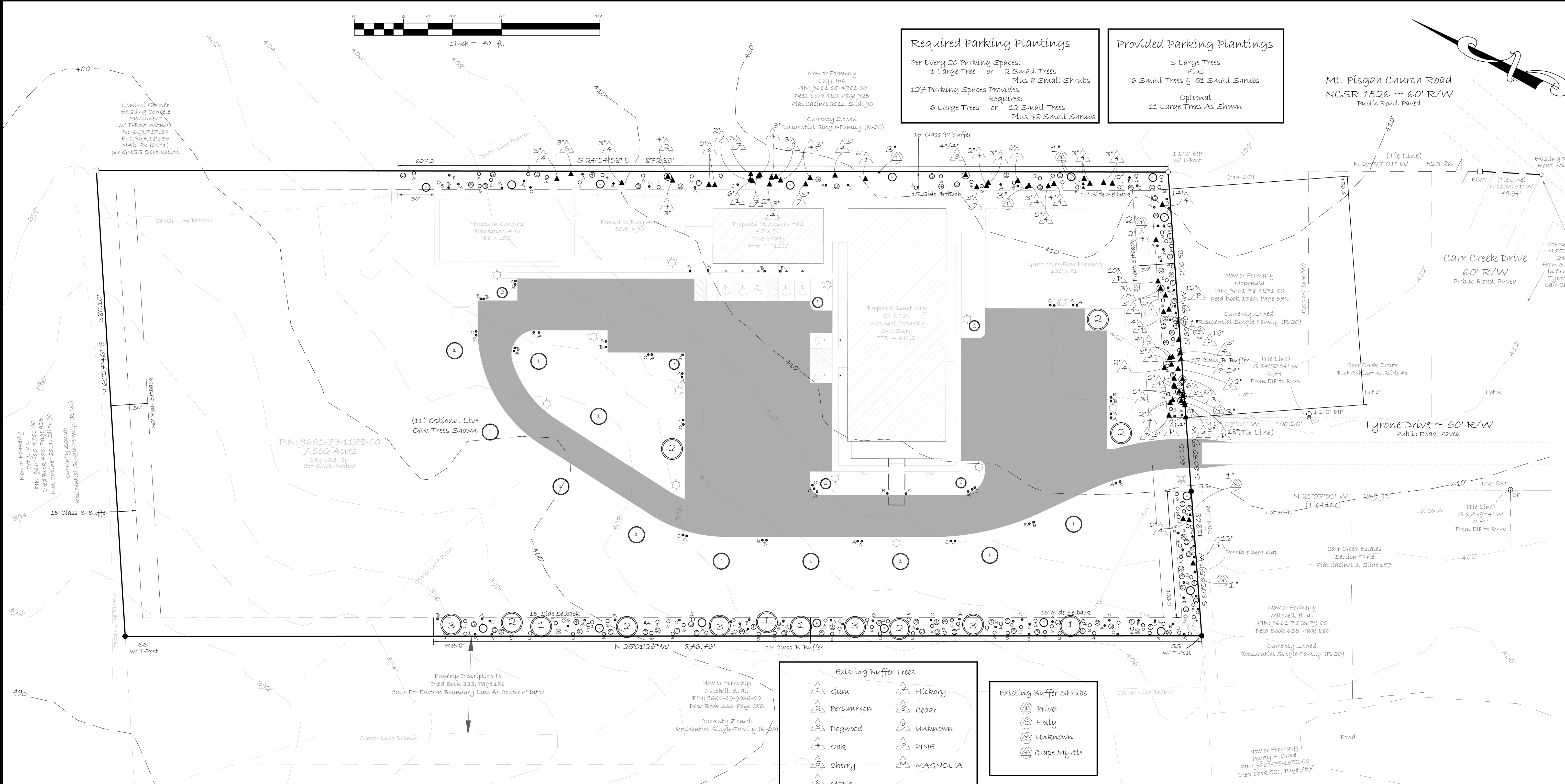
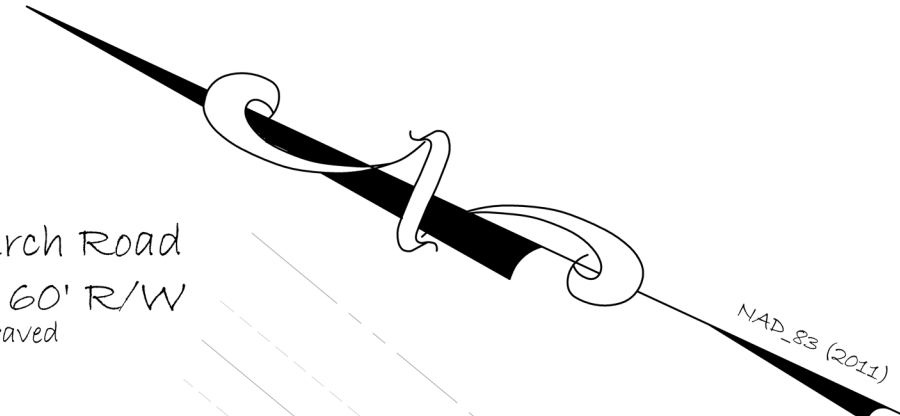


**Know what's below.
 Call before you dig.**



Required Parking Plantings	Provided Parking Plantings
Per Every 20 Parking Spaces: 1 Large Tree or 2 Small Trees Plus 8 Small Shrubs	3 Large Trees Plus 6 Small Trees & 51 Small Shrubs
127 Parking Spaces Provides: Requires: 6 Large Trees or 12 Small Trees Plus 48 Small Shrubs	Optional 11 Large Trees As Shown

Mt. Pisgah Church Road
NCSR 1526 ~ 60' R/W
Public Road, Paved



Existing Buffer Trees	
1	Gum
2	Persimmon
3	Dogwood
4	Oak
5	Cherry
6	Maple
7	Hickory
8	Cedar
9	Unknown
10	PINE
11	MAGNOLIA

Existing Buffer Shrubs	
1	Privet
2	Holly
3	Unknown
4	Crape Myrtle

1 Landscape Plan
C6 (1" = 40')

Required Buffer Plantings	
1 Large Tree per 75'	33 Trees Required 33 Trees Provided
1 Small Tree per 100'	23 Trees Required 24 Trees Provided
2,328 LF of Type 'B' Buffer	0.7 Points per LF 1,630 Points Required 1,692 Points Provided

Point Tabulation			
Tree/Shrub	Points	Provided	Points
Large	12	33	396
Small	6	24	144
Sh. Lg	3	176	528
Sh. Md	2	240	480
Sh. Sm	1	144	144
		617	1,692

NOTES

- * Alternate Plantings of Similar Size & Character May Be Considered if Specified Plantings Cannot Be Obtained
- * The Adoption of Existing Vegetation in Buffer Will Require The Submission of A Revised Landscape Plan Showing The Existing Trees, Species & Size, As Well As Proposed Plantings
- * Plant Locations Are Approximate, Field Adjust As Necessary To Avoid Conflicts
- * 12 Additional Large Trees To Be Planted In Parking Area As Shown Hereon
- * Additional Shrubs & Small Trees, Not Required By Planning Department To Be Planted In Rear Parking Area As Desired

Landscaping Legend					
1 Large Tree Type 1 Common Name: Live Oak Botanical Name: Quercus virginiana Number of Plantings: 4 Buffer / 11 Parking Minimum Size: 1.5 - 2.0' / 8 - 10'	2 Large Tree Type 2 Common Name: Southern Magnolia Botanical Name: Magnolia grandiflora Number of Plantings: 3 Buffer / 3 Parking Minimum Size: 1.5 - 2.0' / 8 - 10'	3 Large Tree Type 3 Common Name: Willow Oak Botanical Name: Quercus phellos Number of Plantings: 4 Buffer Minimum Size: 1.5 - 2.0' / 8 - 10'	○ Small Tree Type 1 Common Name: Crape Myrtle Botanical Name: Lagerstroemia indica Number of Plantings: 10 Buffer / 3 Parking Minimum Size: 1.5 - 2.0' / 8 - 8'	○ Small Tree Type 2 Common Name: Japanese Maple Botanical Name: Acer japonica Number of Plantings: 8 Buffer / 3 Parking Minimum Size: 1.5 - 2.0' / 8 - 8'	○ Large Shrub Type 1 Common Name: Waxmyrtle Botanical Name: Myrica cerifera Number of Plantings: 20 Buffer Minimum Size: N/A / 3 - 3.5'
○ Large Shrub Type 2 Common Name: Haze Juniper Botanical Name: Juniperus Number of Plantings: 21 Buffer Minimum Size: N/A / 3 - 3.5'	○ Large Shrub Type 3 Common Name: Beautybush Botanical Name: Lonicera amabilis Number of Plantings: 20 Buffer Minimum Size: N/A / 3 - 3.5'	○ Large Shrub Type 4 Common Name: Sweet Bay Magnolia Botanical Name: Magnolia virginiana Number of Plantings: 20 Buffer Minimum Size: N/A / 3 - 3.5'	♀ Medium Shrub Type 1 Common Name: American Boxwood Botanical Name: Buxus sempervirens Number of Plantings: 18 Buffer Minimum Size: N/A / 2 - 3'	♀ Medium Shrub Type 2 Common Name: Japanese Boxwood Botanical Name: Buxus microphylla Number of Plantings: 18 Buffer Minimum Size: N/A / 2 - 3'	♀ Medium Shrub Type 3 Common Name: Gardenia Botanical Name: Gardenia Number of Plantings: 19 Buffer Minimum Size: N/A / 2 - 3'
♀ Medium Shrub Type 4 Common Name: Cape Jasmine Botanical Name: Gardenia jasminoides Number of Plantings: 19 Buffer Minimum Size: N/A / 2 - 3'	♀ Medium Shrub Type 5 Common Name: Azalea Botanical Name: R. tosaense Number of Plantings: 16 Buffer Minimum Size: N/A / 2 - 3'	♀ Medium Shrub Type 6 Common Name: Azalea Botanical Name: R. kiusianum Number of Plantings: 18 Buffer Minimum Size: N/A / 2 - 3'	♀ Small Shrub Type 1 Common Name: Boxleaf Euonymus Botanical Name: Euonymus japonicus Number of Plantings: 24 Buffer / 17 Parking Minimum Size: N/A / 1.5 - 2'	♀ Small Shrub Type 2 Common Name: Avalea Hybrid Botanical Name: R. indicum Number of Plantings: 26 Buffer / 18 Parking Minimum Size: N/A / 1.5 - 2'	♀ Small Shrub Type 3 Common Name: English Boxwood Botanical Name: Buxus sempervirens Number of Plantings: 25 Buffer / 16 Parking Minimum Size: N/A / 1.5 - 2'

Project: Home-Place
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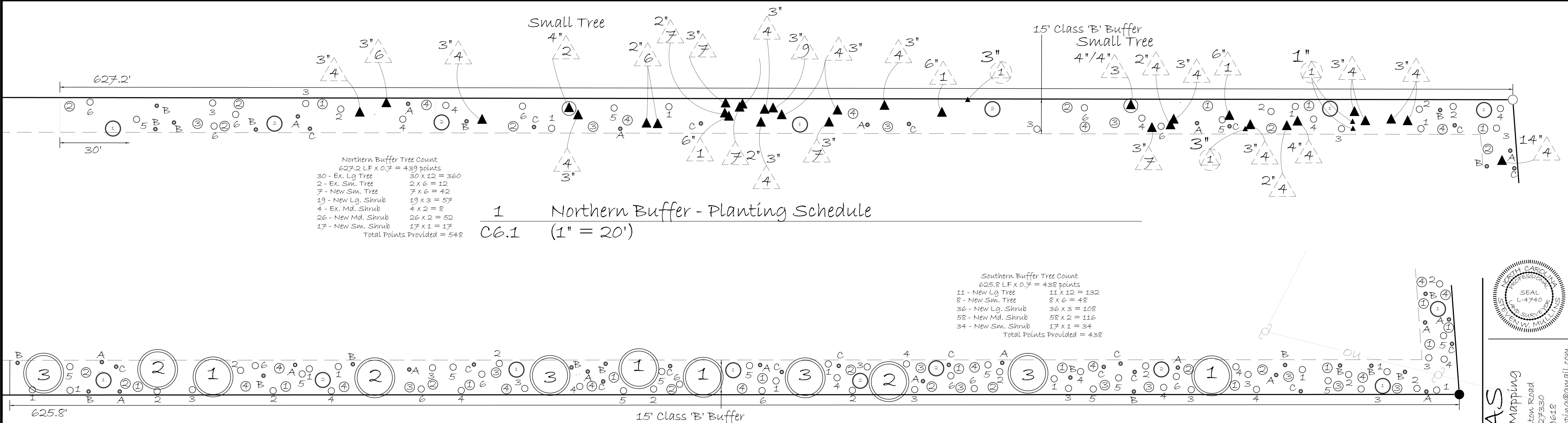
Landscape Plan

Mt. Carmel Pentecostal
Holiness Church
620 W. Main Street
Sanford, NC 27332
(919) 717-5702

Date:
31 Dec. 2018

Revisions
26 March 2019
15 April 2019

C6



Northern Buffer Tree Count
627.2 LF x 0.7 = 439 points

30 - Ex. Lg. Tree	30 x 12 = 360
2 - Ex. Sm. Tree	2 x 6 = 12
7 - New Sm. Tree	7 x 6 = 42
19 - New Lg. Shrub	19 x 3 = 57
4 - Ex. Md. Shrub	4 x 2 = 8
26 - New Md. Shrub	26 x 2 = 52
17 - New Sm. Shrub	17 x 1 = 17
Total Points Provided = 548	

1 Northern Buffer - Planting Schedule
CG.1 (1" = 20')

Southern Buffer Tree Count
625.8 LF x 0.7 = 438 points

11 - New Lg. Tree	11 x 12 = 132
8 - New Sm. Tree	8 x 6 = 48
36 - New Lg. Shrub	36 x 3 = 108
58 - New Md. Shrub	58 x 2 = 116
34 - New Sm. Shrub	17 x 1 = 34
Total Points Provided = 438	

2 Southern Buffer - Planting Schedule
CG.1 (1" = 20') - Above

4 Eastern Buffer (Southern Portion) - Planting Schedule
CG.1 (1" = 20') - Below

Eastern Buffer - Northern Tree Count
186.6 LF x 0.7 = 131 points

23 - Ex. Lg. Tree	23 x 12 = 276
5 - Ex. Sm. Tree	5 x 6 = 30
1 - New Sm. Tree	1 x 6 = 6
15 - New Lg. Shrub	15 x 3 = 45
2 - Ex. Md. Shrub	2 x 2 = 4
12 - New Md. Shrub	12 x 2 = 24
1 - Ex. Sm. Shrub	1 x 1 = 1
15 - New Sm. Shrub	15 x 1 = 15
Total Points Provided = 403	

Eastern Buffer - Southern Tree Count
103.0 LF x 0.7 = 72 points

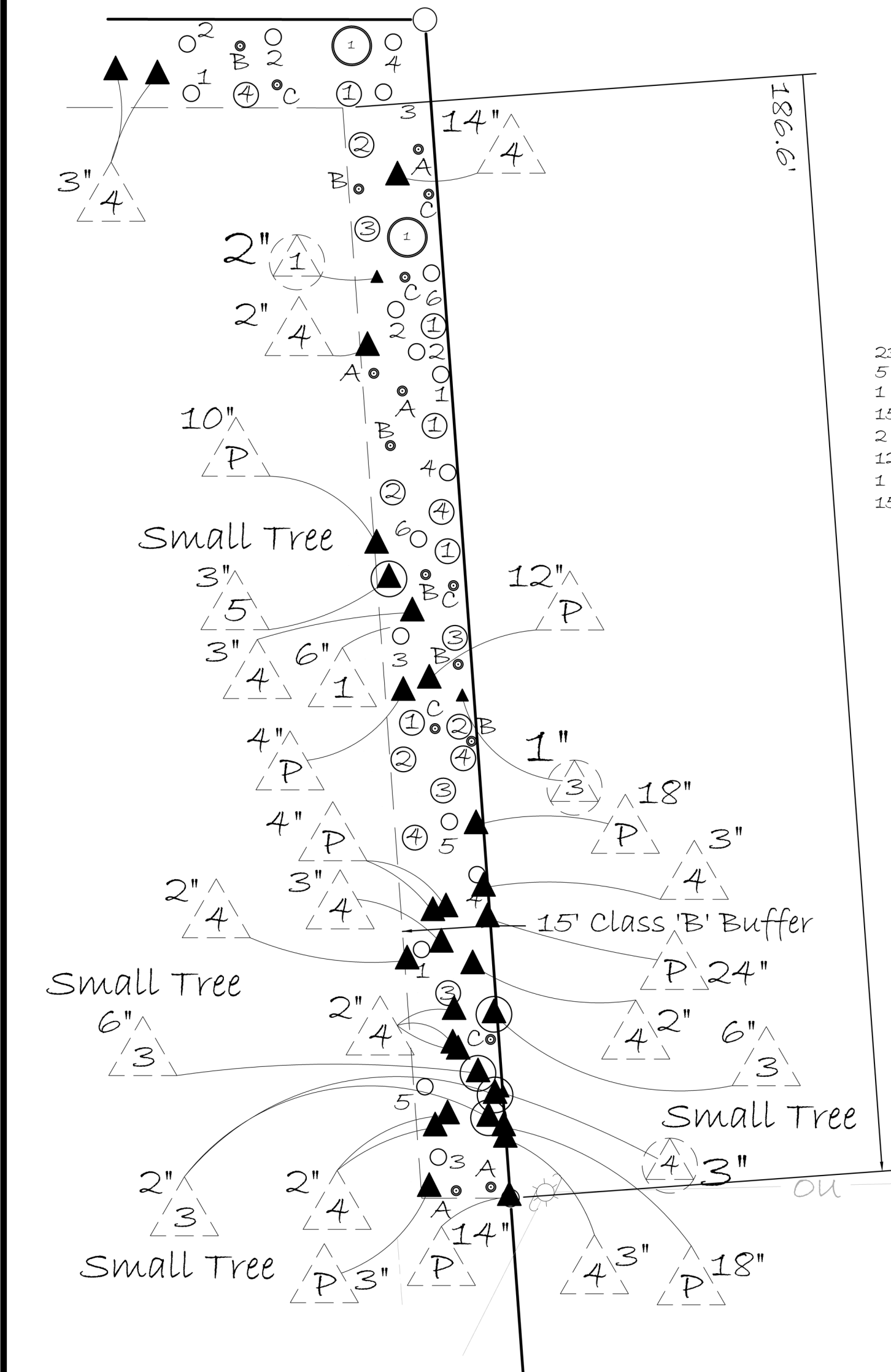
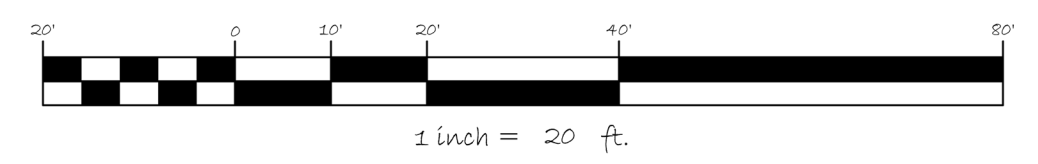
3 - Ex. Lg. Tree	3 x 12 = 36
2 - New Sm. Tree	2 x 6 = 12
11 - New Lg. Shrub	11 x 3 = 33
10 - New Md. Shrub	10 x 2 = 20
2 - Ex. Sm. Shrub	2 x 1 = 2
9 - New Sm. Shrub	9 x 1 = 9
Total Points Provided = 548	

Existing Buffer Trees

1	Gum	7	Hickory
2	Persimmon	8	Cedar
3	Dogwood	9	Unknown
4	Oak	P	PINE
5	Cherry	M	MAGNOLIA
6	Maple		

Existing Buffer Shrubs

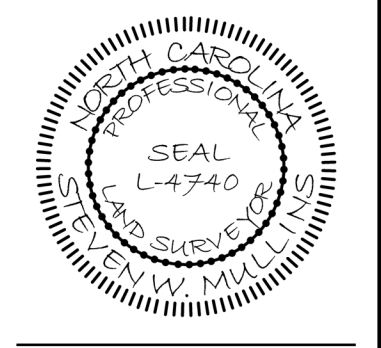
1	Privet
2	Holly
3	Unknown
4	Crape Myrtle



3 Eastern Buffer (Northern Portion) - Planting Schedule
CG.1 (1" = 20')

Landscaping Legend

<p>Large Tree Type 1 Common Name: Live Oak Botanical Name: Quercus Virginiana Number of Plantings: 11 Buffer / 12 Parking Minimum Size: 1.5 - 2.0' / 8 - 10'</p>	<p>Large Tree Type 2 Common Name: Southern Magnolia Botanical Name: Magnolia Grandiflora Number of Plantings: 11 Buffer / 3 Parking Minimum Size: 1.5 - 2.0' / 8 - 10'</p>	<p>Large Tree Type 3 Common Name: Willow Oak Botanical Name: Quercus Phellos Number of Plantings: 11 Buffer Minimum Size: 1.5 - 2.0' / 8 - 10'</p>	<p>Small Tree Type 1 Common Name: Crape Myrtle Botanical Name: Lagerstroemia Indica Number of Plantings: 6 Buffer / 4 Parking Minimum Size: 1.5 - 2.0' / 8 - 8'</p>	<p>Small Tree Type 2 Common Name: Japanese Maple Botanical Name: Acer Japonica Number of Plantings: 6 Buffer / 3 Parking Minimum Size: 1.5 - 2.0' / 8 - 8'</p>	<p>Large Shrub Type 1 Common Name: Waxmyrtle Botanical Name: Myrica Cerifera Number of Plantings: 44 Buffer Minimum Size: N/A / 3 - 3.5'</p>
<p>Large Shrub Type 2 Common Name: Hitz Juniper Botanical Name: Juniperus Number of Plantings: 44 Buffer Minimum Size: N/A / 3 - 3.5'</p>	<p>Large Shrub Type 3 Common Name: Beautybush Botanical Name: Linnaea Amabilis Number of Plantings: 44 Buffer Minimum Size: N/A / 3 - 3.5'</p>	<p>Large Shrub Type 4 Common Name: Sweet Bay Magnolia Botanical Name: Magnolia Virginiana Number of Plantings: 44 Buffer Minimum Size: N/A / 3 - 3.5'</p>	<p>Medium Shrub Type 1 Common Name: American Boxwood Botanical Name: Buxus Sempervirens Number of Plantings: 40 Buffer Minimum Size: N/A / 2 - 3'</p>	<p>Medium Shrub Type 2 Common Name: Japanese Boxwood Botanical Name: Buxus Microphylla Number of Plantings: 40 Buffer Minimum Size: N/A / 2 - 3'</p>	<p>Medium Shrub Type 3 Common Name: Gardenia Botanical Name: Gardenia Number of Plantings: 40 Buffer Minimum Size: N/A / 2 - 3'</p>
<p>Medium Shrub Type 4 Common Name: Cape Jasmine Botanical Name: Gardenia jasminoides Number of Plantings: 40 Buffer Minimum Size: N/A / 2 - 3'</p>	<p>Medium Shrub Type 5 Common Name: Azalea Botanical Name: R. Tosense Number of Plantings: 40 Buffer Minimum Size: N/A / 2 - 3'</p>	<p>Medium Shrub Type 6 Common Name: Azalea Botanical Name: R. Kiusianum Number of Plantings: 40 Buffer Minimum Size: N/A / 2 - 3'</p>	<p>Small Shrub Type 1 Common Name: Euonymus Japonicus Botanical Name: Euonymus Japonicus Number of Plantings: 48 Buffer Minimum Size: N/A / 1.5 - 2'</p>	<p>Small Shrub Type 2 Common Name: Avalea Hybrid Botanical Name: R. Indicum Number of Plantings: 48 Buffer Minimum Size: N/A / 1.5 - 2'</p>	<p>Small Shrub Type 3 Common Name: English Boxwood Botanical Name: Buxus Sempervirens Number of Plantings: 48 Buffer / 28 Parking Minimum Size: N/A / 1.5 - 2'</p>



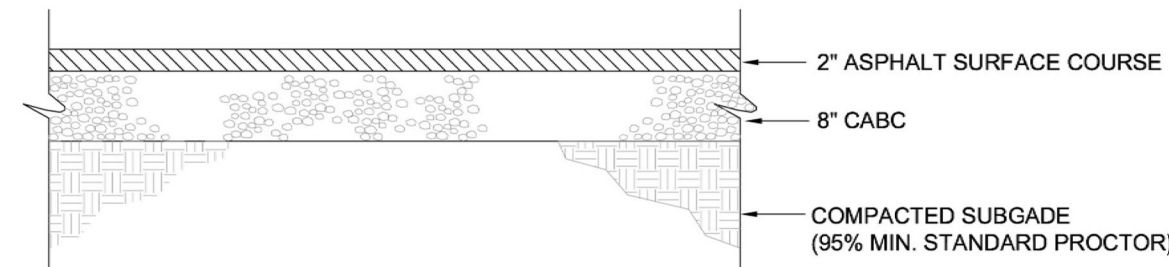
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Date:
Revisions
26 March 2019

CG.1

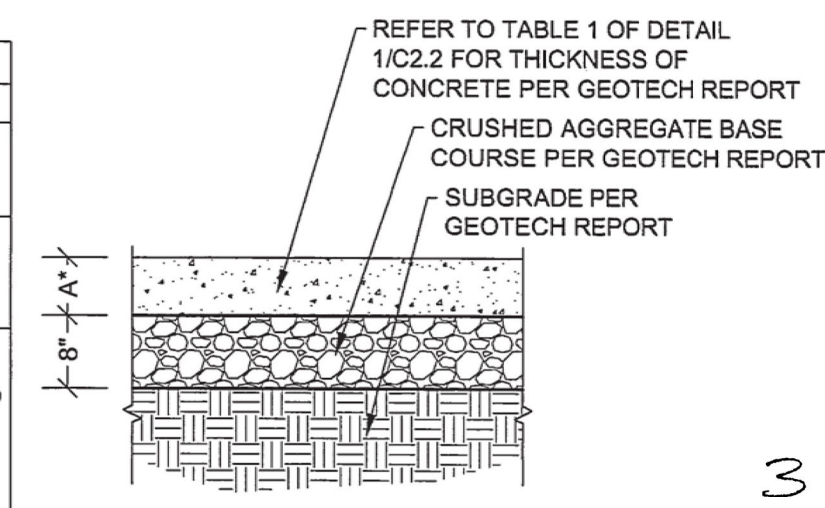


1 Asphalt Paving Section
C7 (Not To Scale)

PROVIDE CONTROL JOINTS AT 12' O.C. (25% SLAB THICKNESS)

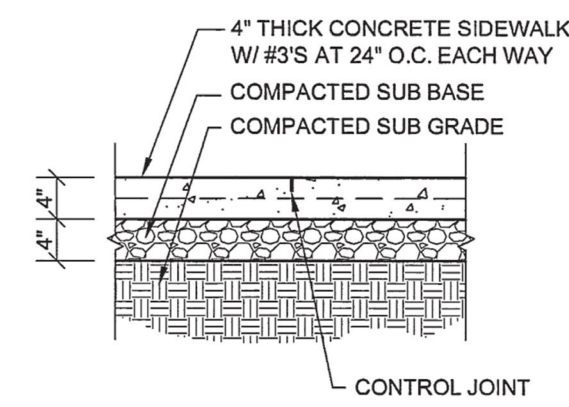
PAVEMENT TYPE	CONCRETE PAVEMENT SECTION	
	STANDARD DUTY	HEAVY DUTY
CONCRETE A*	5.0 INCHES	7.0 INCHES

**PAVEMENT DESIGN IS BASED ON GEOTECHNICAL REPORT PROVIDED BY THE OWNER DATED 06/28/2017. ANDERSON ENGINEERING PROVIDES NO WARRANTY OR GUARANTEE FOR THIS DESIGN. CONTRACTOR IS RESPONSIBLE TO FULLY READ AND FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.

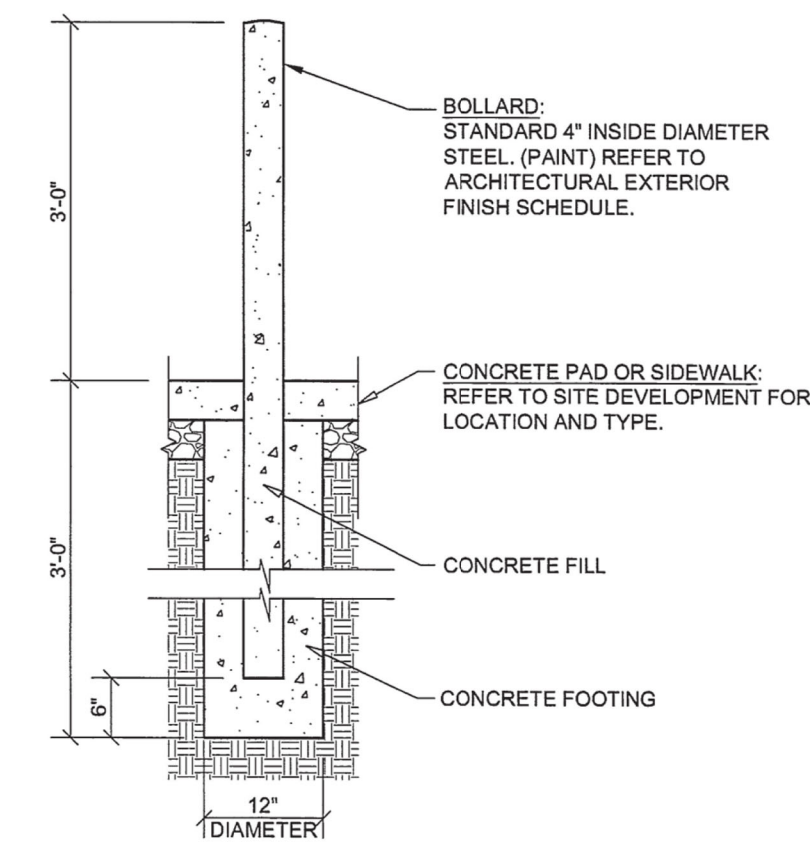


2 Concrete Paving Section
C7 (Not To Scale)

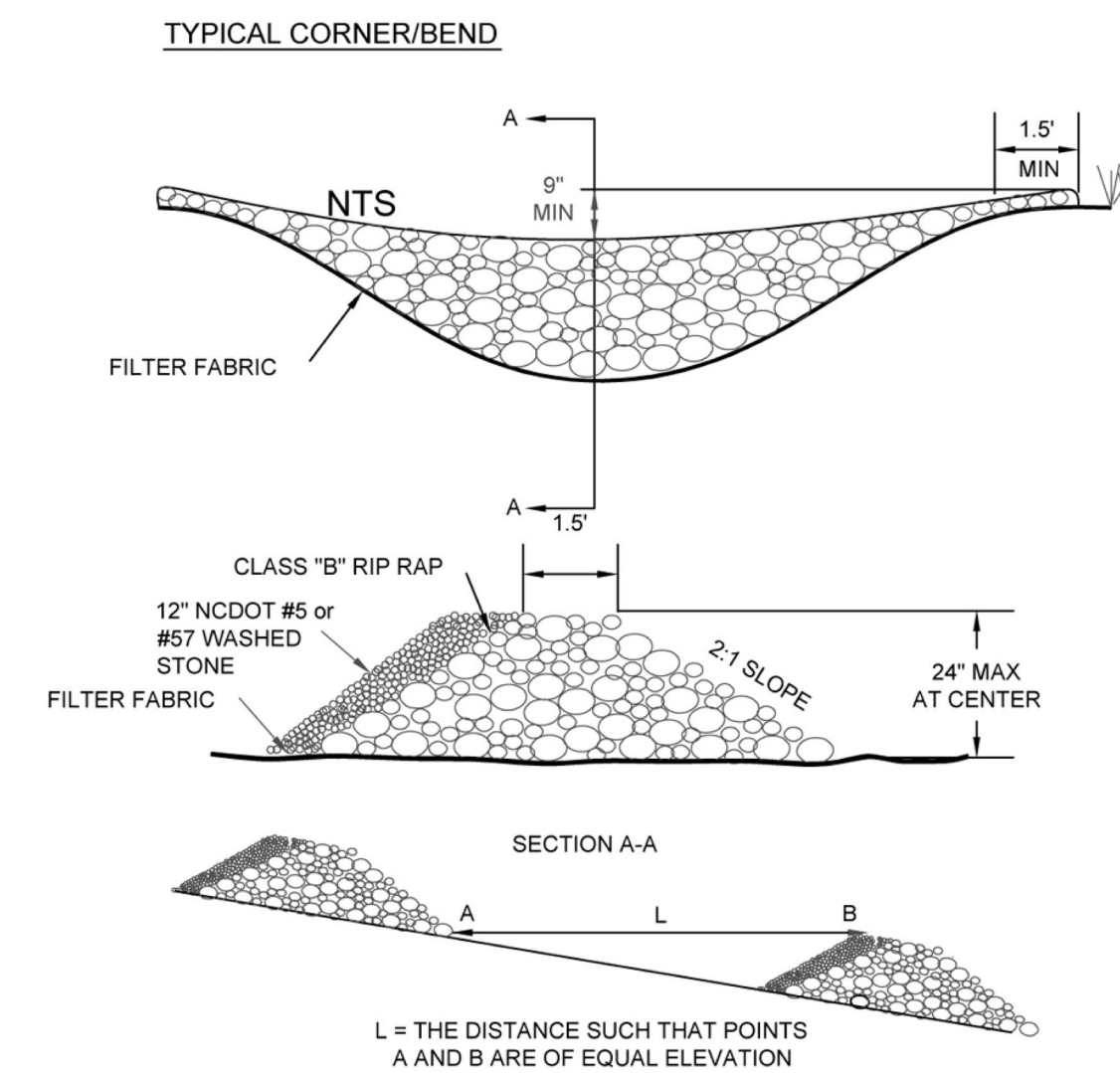
PROVIDE TOOLED CONTROL JOINTS AT 6' O.C. (25% SLAB THICKNESS) AND ISOLATION JOINTS AT 24' O.C., UNLESS OTHERWISE NOTED.



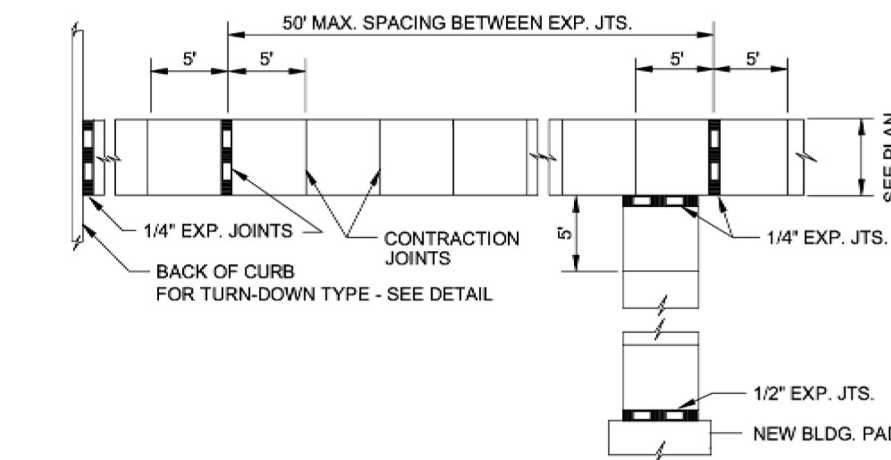
3 Concrete Sidewalk Curb Section
C7 (Not To Scale)



4 Steel Bollard Section
C7 (Not To Scale)

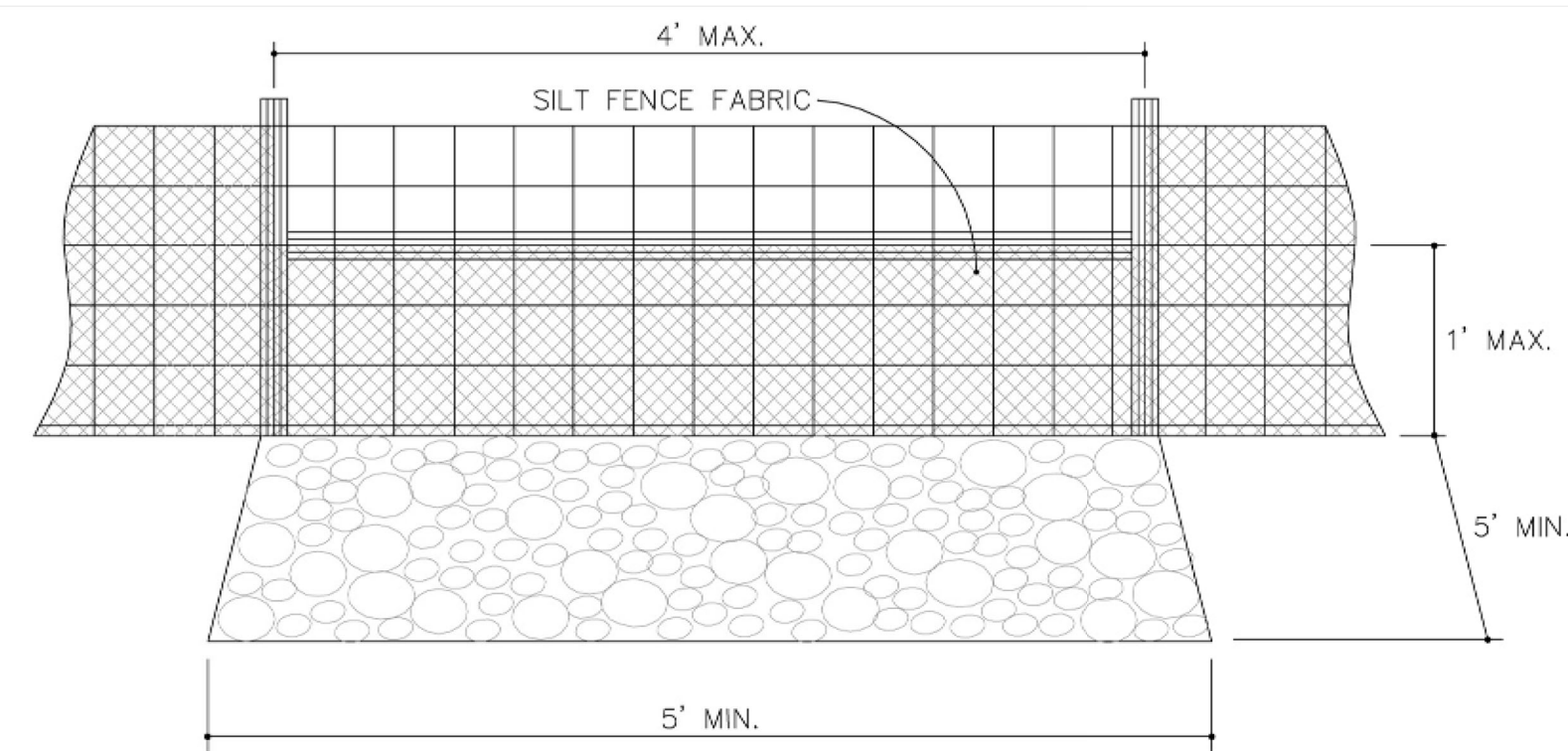


5 Check Dam Detail
C7 (Not To Scale)



- NOTES:
- ALL SIDEWALKS SHALL BE 4" THICK EXCEPT AT TURN DOWN.
 - CONTRACTION JOINTS SHALL BE SPACED AT 5'-0" INTERVALS.
 - CONTRACTION JOINTS SHALL BE FORMED 1" DEEP AND EDGED WITH 1/8" RADIUS, OR MAY BE SAWCUT 1" DEEP.
 - SIDEWALK CROSS SLOPE SHOULD BE 2% MIN. TO AND TOWARD PAVED AREAS.
 - 1/2" EXP. JT. MATERIAL REQUIRED WHERE CONC. 4% MAX. AND SHOULD SLOPE AWAY FROM BUILDINGS SIDEWALK ABUTS ANY RIGID STRUCTURE.
 - A LAYER OF 15# BLDG. FELT IS REQUIRED BETWEEN WALK AND ADJACENT PARALLELING CONC. CURB.

6 Concrete Sidewalk Section
C7 (Not To Scale)



- CONSTRUCTION
- SET OUTLET ELEVATION SO THAT WATER DEPTH CANNOT EXCEED 1.5 FT AT THE LOWEST POINT ALONG THE FENCE LINE (SEE FIGURE).
 - SET FABRIC HEIGHT AT 1 FT MAXIMUM BETWEEN SUPPORT POSTS SPACED NO MORE THAN 4 FT APART. INSTALL A HORIZONTAL BRACE BETWEEN THE SUPPORT POSTS TO SERVE AS AN OVERFLOW WEIR AND TO SUPPORT TOP FABRIC.
 - EXCAVATE FOUNDATION FOR THE SPLASH PAD A MINIMUM OF 5 FT WIDE, 1 FT DEEP, AND 5 FT LONG ON LEVEL GRADE. THE FINISHED SURFACE OF THE RIPRAP SHOULD BLEND WITH SURROUNDING AREA, ALLOWING NO OVERFALL. THE AREA AROUND THE PAD MUST BE STABLE.
- MAINTENANCE
- INSPECT SEDIMENT FENCE OUTLETS PERIODICALLY AND AFTER EACH RAINFALL EVENT.
- SHOULD FABRIC TEAR, DECOMPOSE, OR IN ANY WAY BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REPLACE BURLAP A LEAST EVERY 60 DAYS.
- REMOVE SEDIMENT DEPOSITS PROMPTLY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON FENCE. TAKE CARE TO AVOID UNDERMINING FENCE DURING CLEAN OUT.
- REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, INSPECTED, AND APPROVED. BRING THE DISTURBED AREA TO GRADE AND STABILIZE AS SHOWN IN VEGETATION PLAN.

7 Silt Fence Outlet Detail
C7 (Not To Scale)

DESIGN CRITERIA

SUMMARY:

PRIMARY SPILLWAY: STONE SPILLWAY

MAXIMUM DRAINAGE AREA: 1 ACRES

MINIMUM VOLUME: 3600 CU FT PER ACRE OF DISTURBED AREA

MINIMUM SURFACE AREA: 435 SQ FT PER CFS OF Q10 PEAK FLOW

MINIMUM L/W RATIO: 2:1

MINIMUM DEPTH: 3.5 FEET, 1.5 FEET EXCAVATED BELOW GRADE

MAXIMUM HEIGHT: WEIR ELEVATION 3.5 FEET ABOVE GRADE

DEWATERING MECHANISM: STONE SPILLWAY

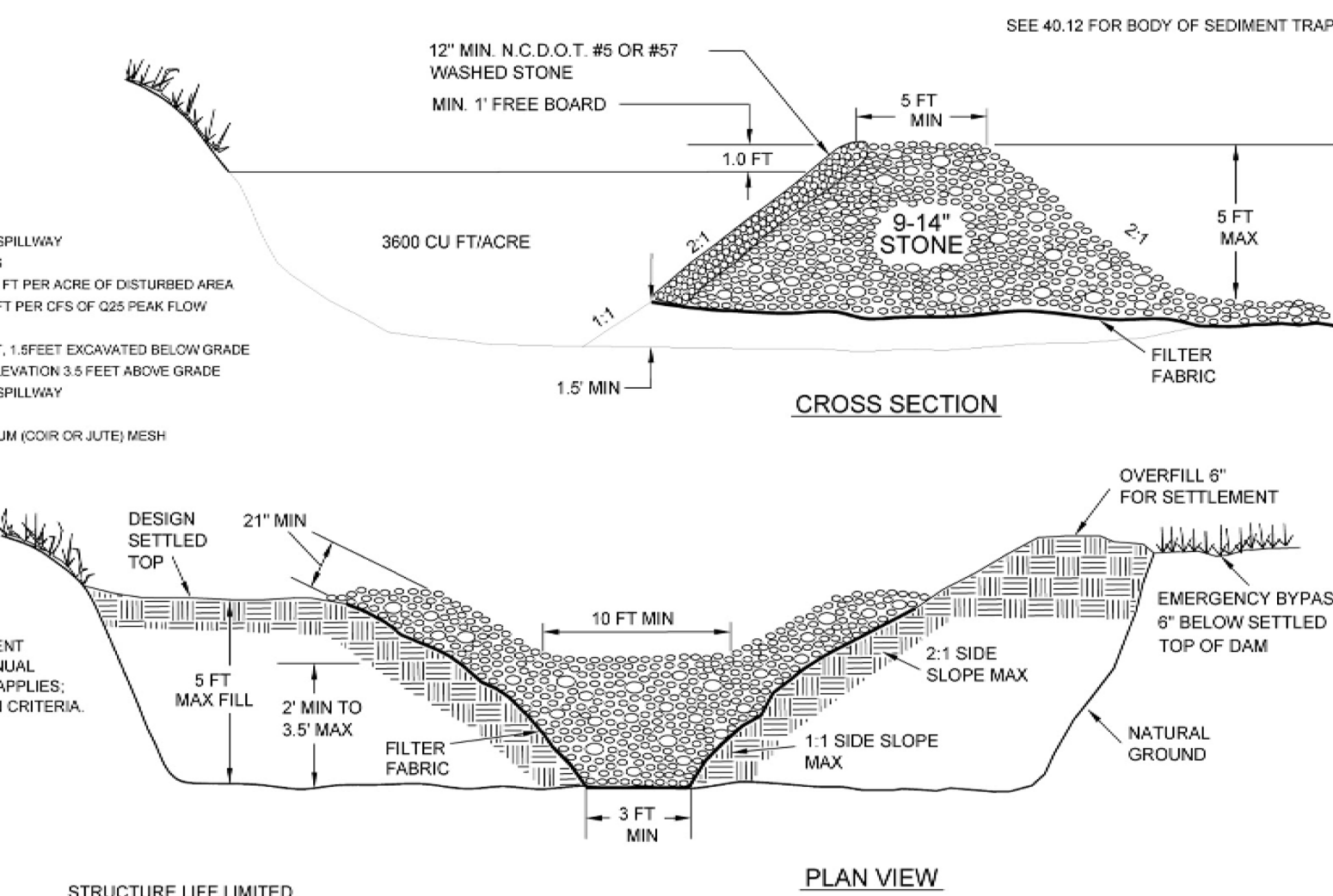
MINIMUM DEWATERING TIME: N/A

BAFFLES REQUIRED: 3 MINIMUM (COR OR JUTE) MESH

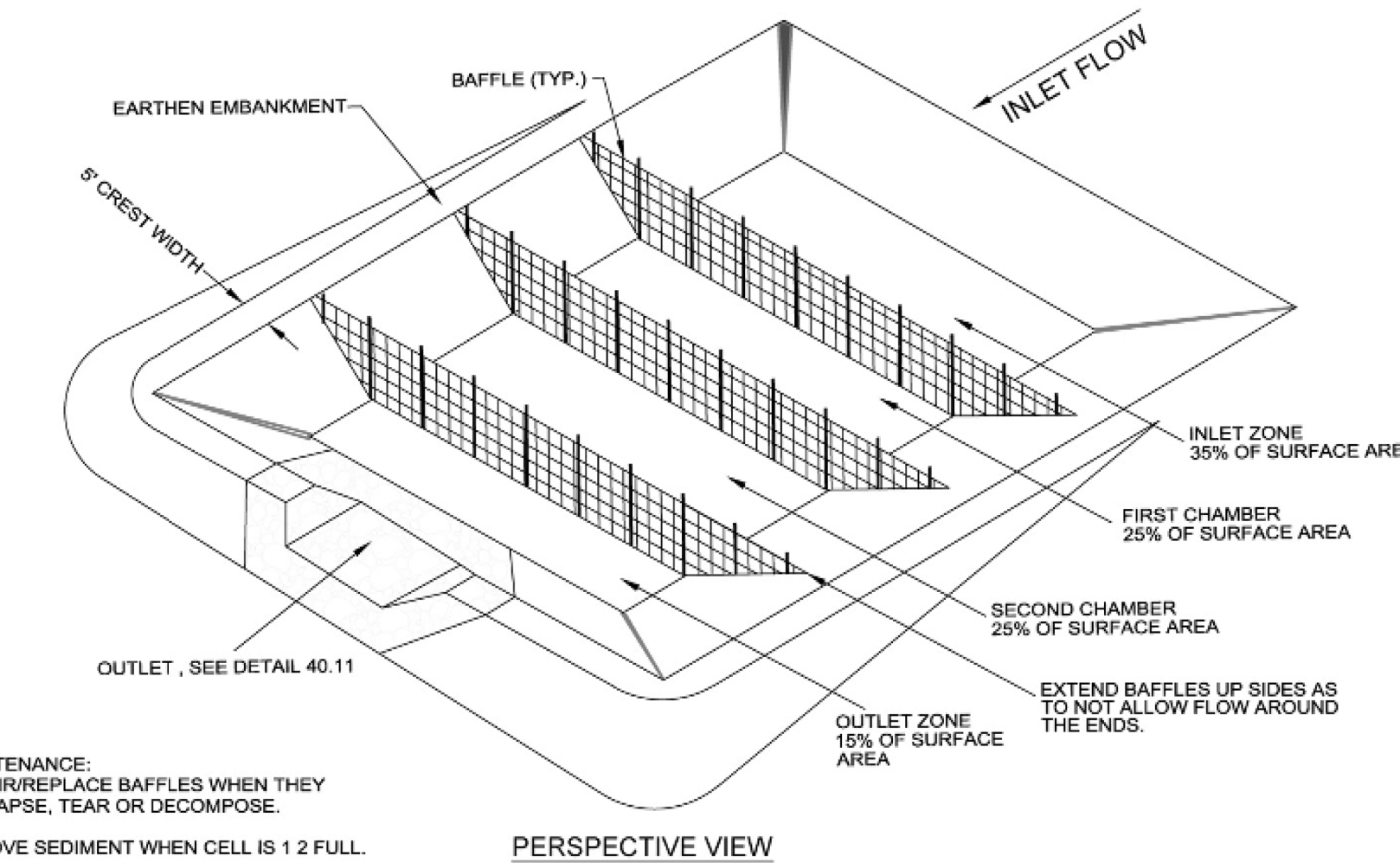
MIN VEER (COR): 12'

NOTES:

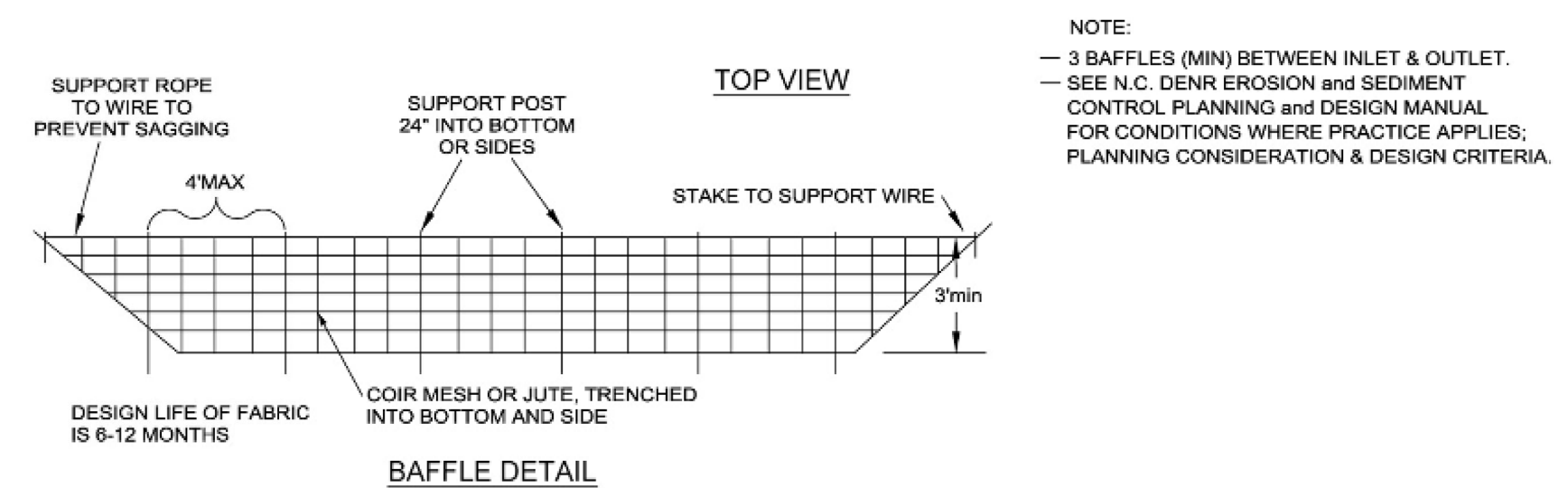
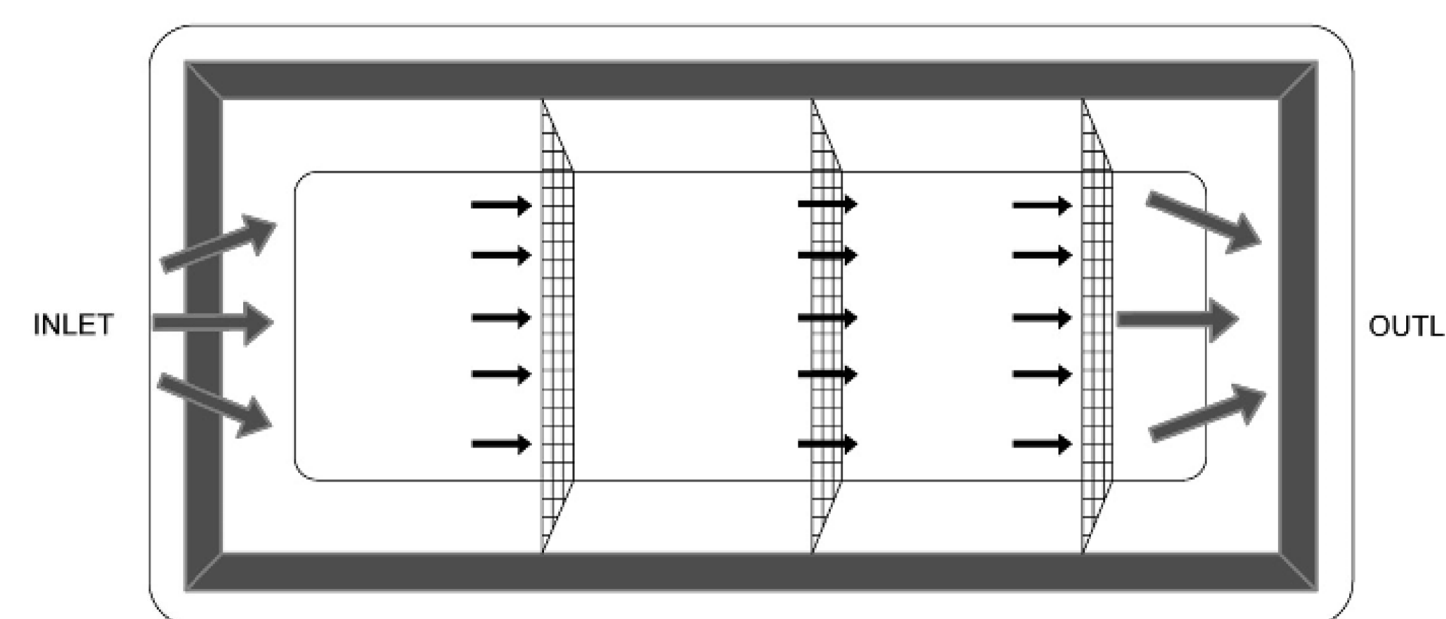
SEE N.C. DENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL FOR CONDITIONS WHERE PRACTICE APPLIES. PLANNING CONSIDERATION & DESIGN CRITERIA.



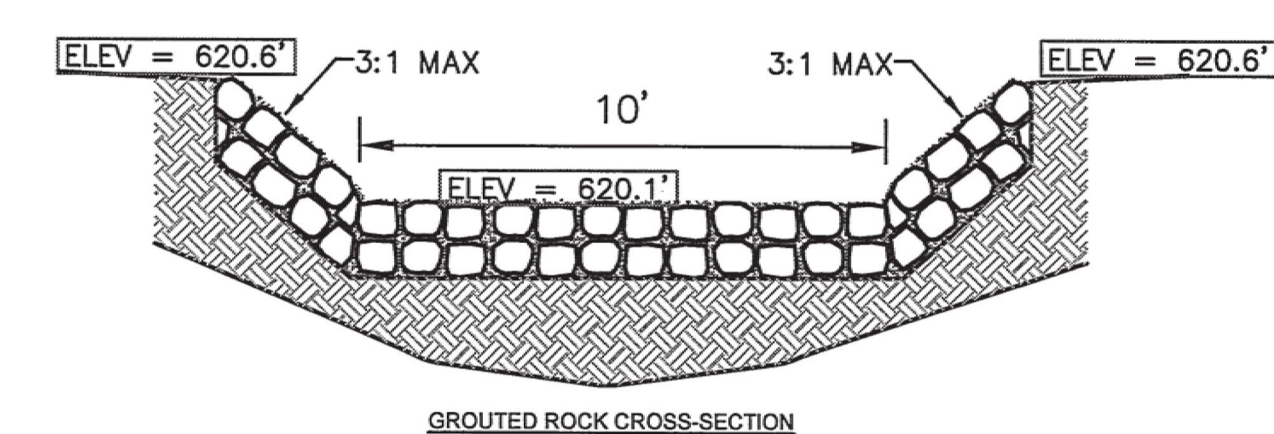
8 Sediment Trap Typical Cross-Section
C7 (Not To Scale)



MAINTENANCE: REPAIR/REPLACE BAFFLES WHEN THEY COLLAPSE, TEAR OR DECOMPOSE. REMOVE SEDIMENT WHEN CELL IS 1/2 FULL.

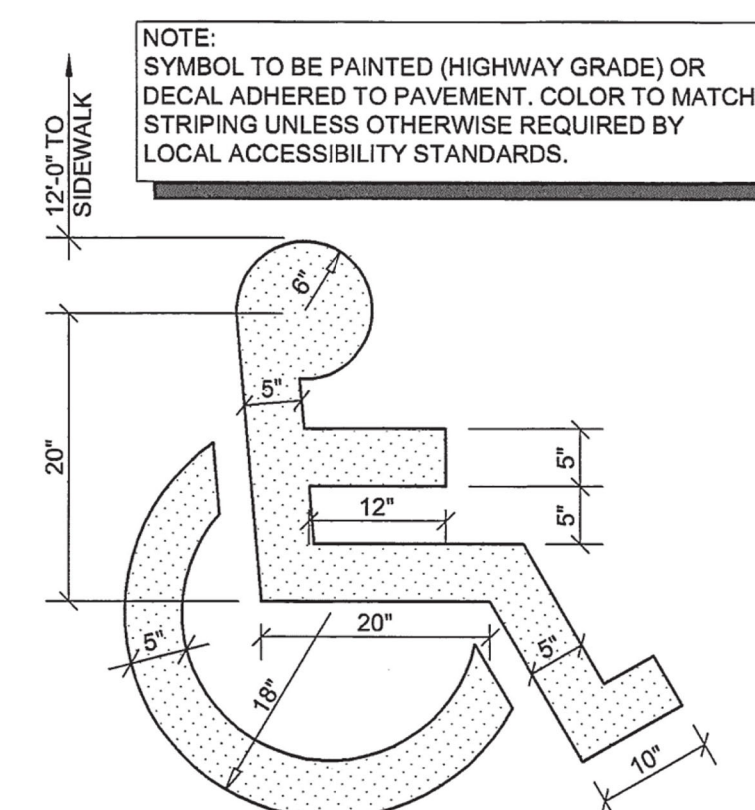


9 Sediment Trap Typical Detail
C7 (Not To Scale)

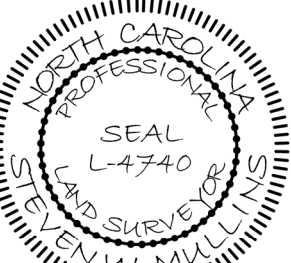


- NOTES:
- HAND PLACE RIP-RAP IN ALL PLACES AS INDICATED ON THE PLAN.
 - THE STONES FOR RIP-RAP SHALL CONSIST OF FIELD STONE OR ROUGH UNHEWN QUARRY STONE AS NEARLY AS UNIFORM, IN SECTION AS PRACTICAL.
 - THE STONES SHALL BE DENSE, RESISTANT TO THE ACTION OF AIR AND WATER, AND SUITABLE IN ALL ASPECTS FOR THE PURPOSE INTENDED UNLESS OTHERWISE SPECIFIED.
 - ALL STONES USED AS RIP-RAP SHALL WEIGH BETWEEN 50-150 POUNDS EACH, AND AT LEAST 60 PERCENT OF THE STONES SHALL WEIGH MORE THAN 100 POUNDS EACH.
 - STONES SHALL BE A MINIMUM OF 12" IN DIAMETER AND PLACED A MINIMUM OF 18" BELOW FINISH GRADE.
 - RIPRAP PAD SHALL HAVE NO SLOPE FOR THE LENGTH OF THE RIPRAP PAD.
 - FINISHED GRADE ADJACENT TO THE RIPRAP PAD SHALL BE A MINIMUM OF 6" ABOVE THE RIPRAP PAD BOTTOM.
 - RIPRAP TO BE GROUTED IN PLACE.

10 Grouted Rock Overflow
C7 (Not To Scale)



11 Accessible Parking Pavement Stripping Detail
C7 (Not To Scale)



ATLAS
Surveying & Mapping
1503 Old Carnton Road
Sanford, NC 27330
(919) 721-9618
AtlasSurveyingAndMapping@gmail.com

Project: Home-Place
3203 Tyrone Drive
Sanford, NC 27332

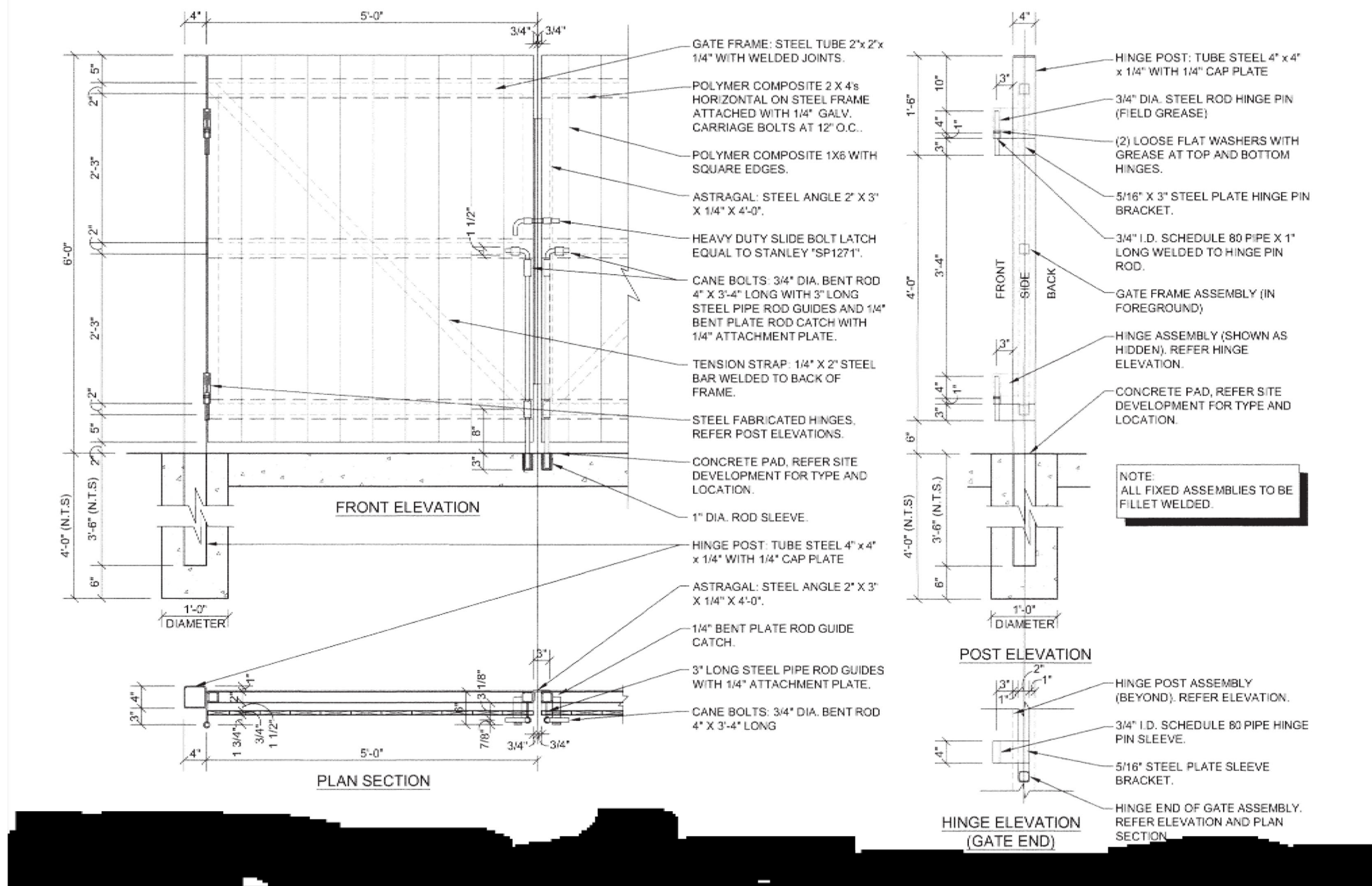
Construction Details

Mt. Carmel Pentecostal
Holiness Church
620 W. Main Street
Sanford, NC 27332
(919) 717-5702

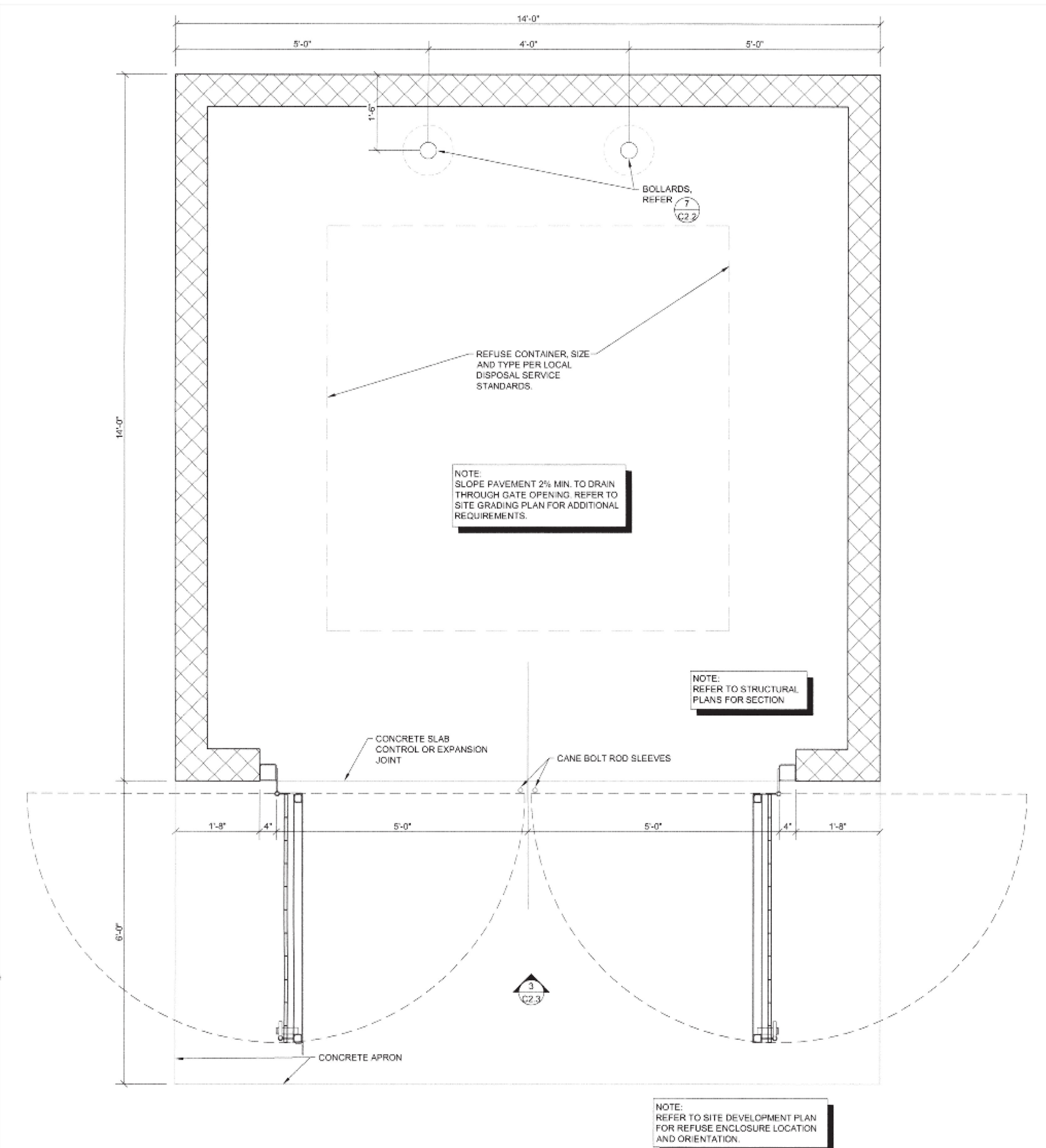
Date:
31 Dec. 2018

Revisions
26 March 2019

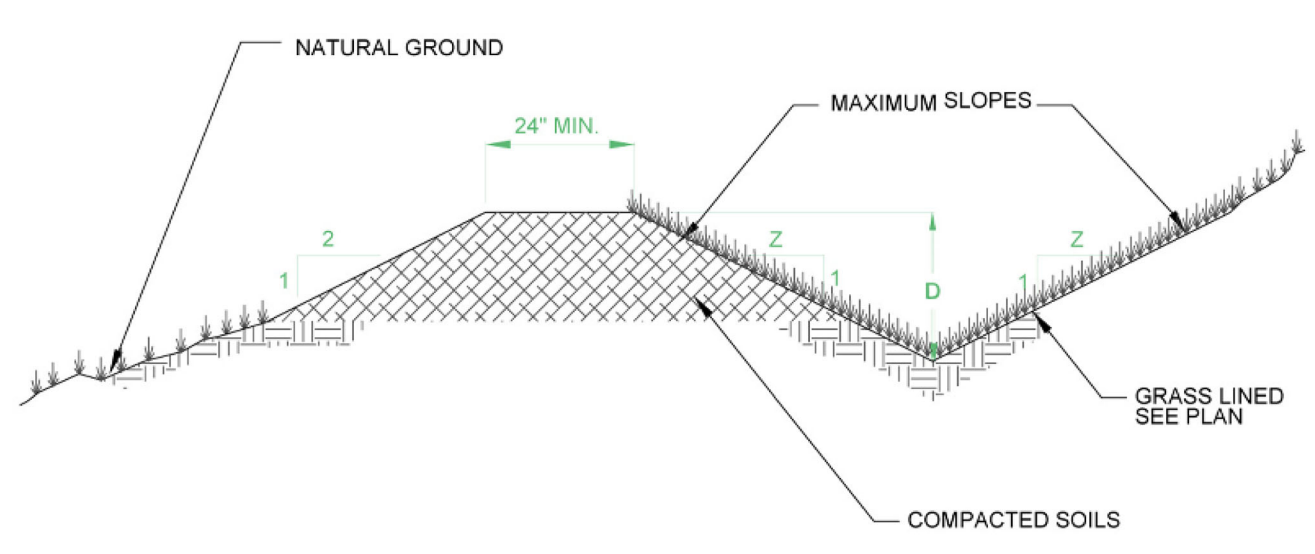
C7



2 Screen Fence Gate
C7.1 (Not To Scale)



1 Masonry Screen Fence Refuse Enclosure
C7.1 (Not To Scale)

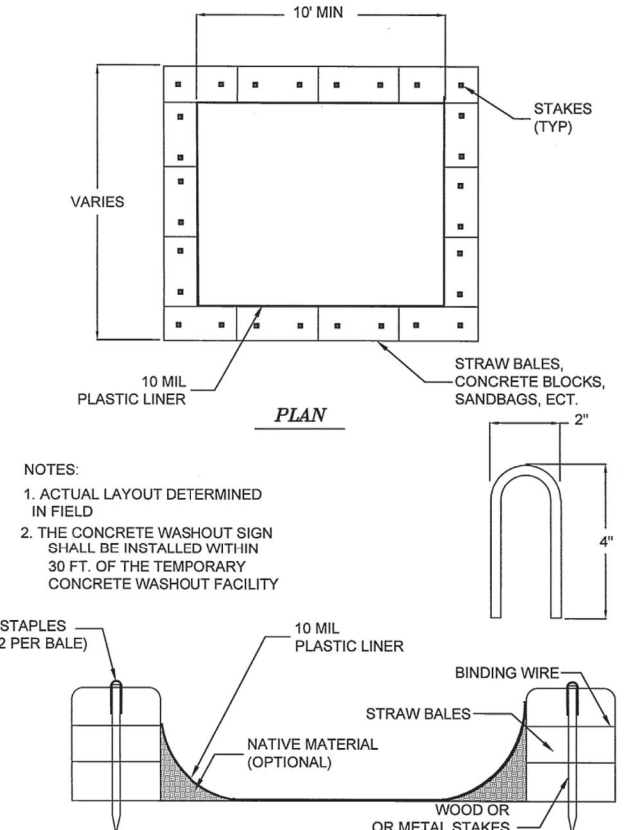


Construction Specifications

1. Remove all trees, brush, stumps, and other objectionable material from the foundation area, and dispose of properly.
2. Excavate the channel, and shape it to neat lines and dimensions shown on the plans plus a 0.2-foot overcut around the channel perimeter to allow for bulking during seedbed preparations and sod buildup.
3. Remove and properly dispose of all excess soil so that surface water may enter the channel freely.
4. The procedure used to establish grass in the channel will depend upon the severity of the conditions and selection of species. Protect the channel with mulch or a temporary liner sufficient to withstand anticipated velocities during the establishment period (Appendix 8.05).

Maintenance During the establishment period, check grass-lined channels after every rainfall. After grass is established, periodically check the channel; check it after every heavy rainfall event. Immediately make repairs. It is particularly important to check the channel outlet and all road crossings for bank stability and evidence of piping or scour holes. Remove all significant sediment accumulations to maintain the designed carrying capacity. Keep the grass in a healthy, vigorous condition at all times, since it is the primary erosion protection for the channel (Practice 6.11, Permanent Seeding).

6 Grass Lined Temporary-Permanent Diversion Ditch
C7.1 (Not To Scale)

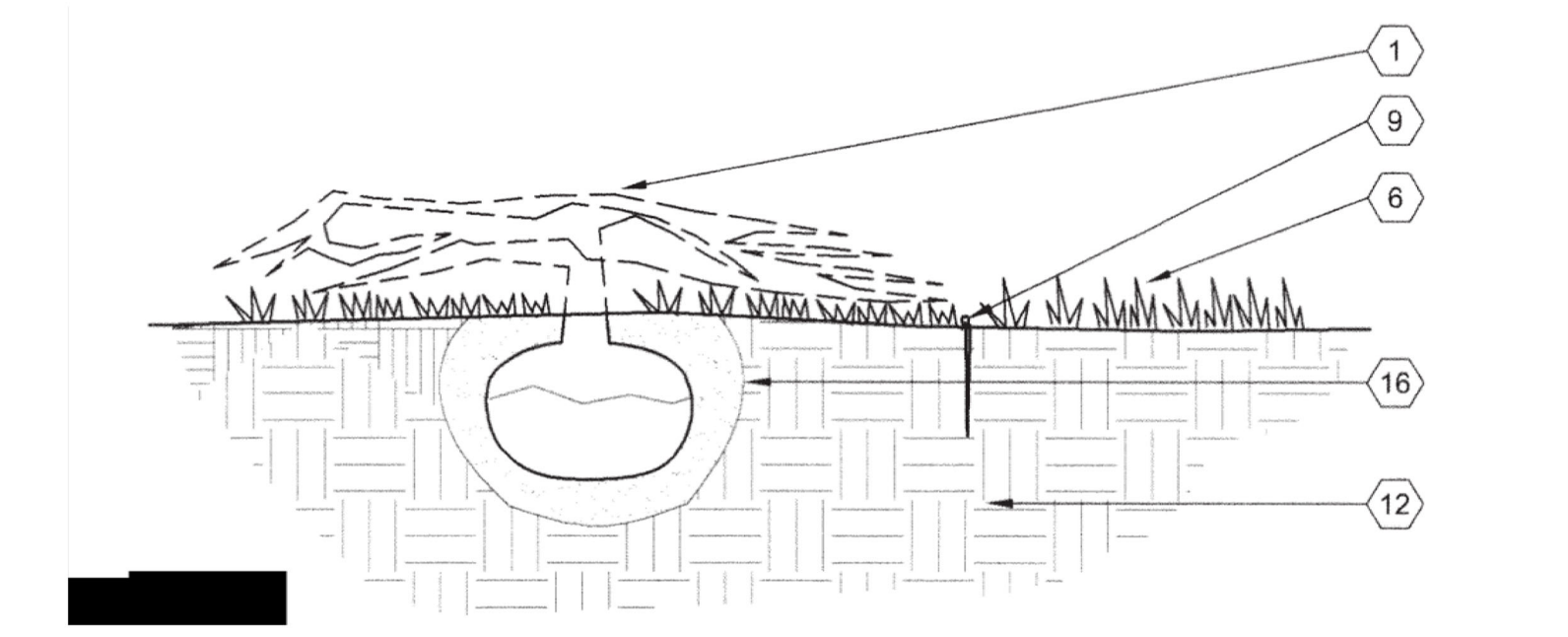


7 Concrete Washout
C7.1 (Not To Scale)

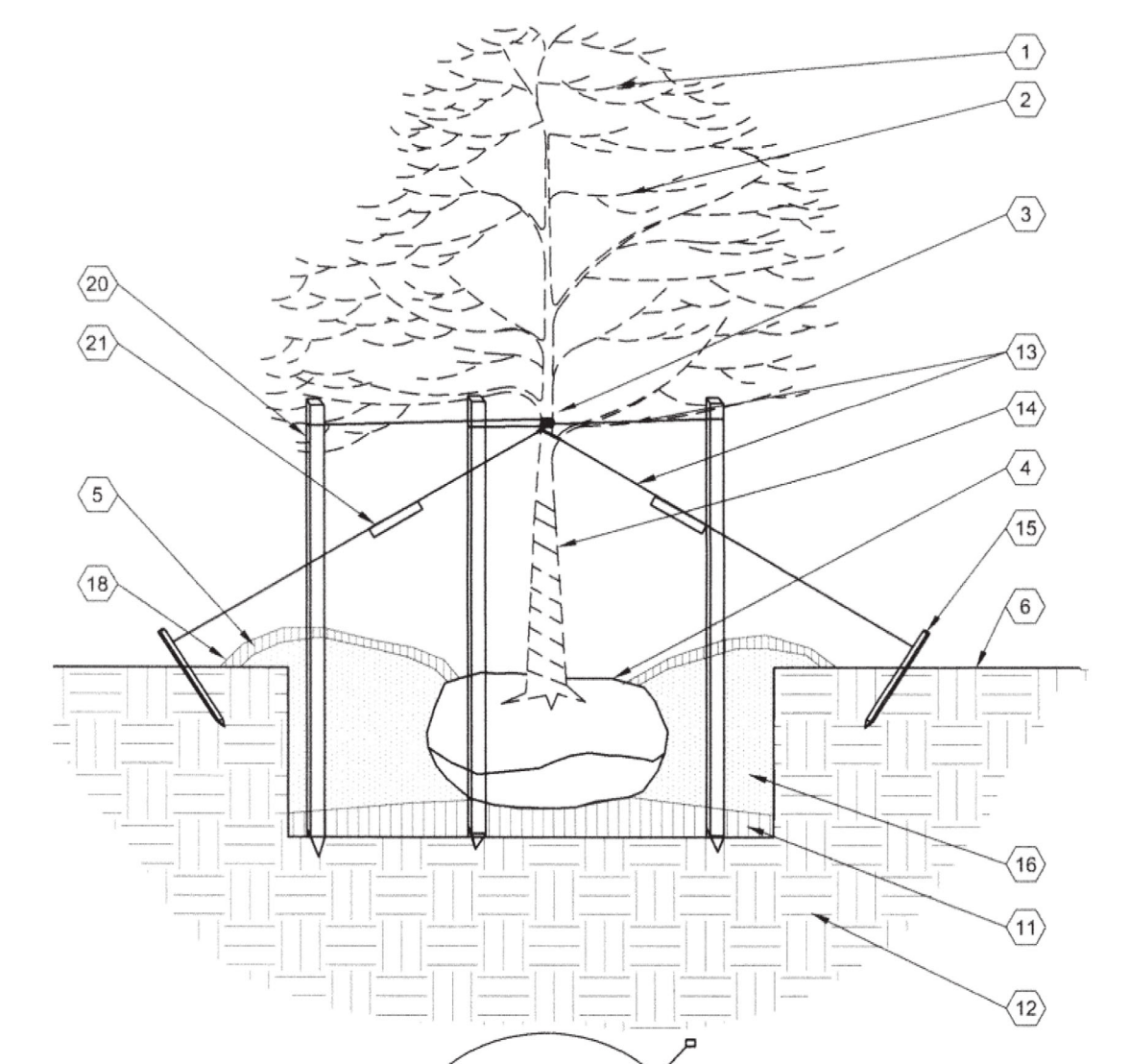
General Notes

- * All Masonry Surfaces To Match Textures & Field Color Of Building Exposed Masonry Inside Enclosure To Be Primed & Painted (2) Coats of Color To Match Enclosure Exterior Masonary
- * All Exposed Architectural Precast To Be Natural Concrete Color In Smooth Form Finish
- * All Non-galvanized Metal Parts To Be Primed & Painted (2) Coats
- * Polymer Composite Material and Color To Be Selected By Owner

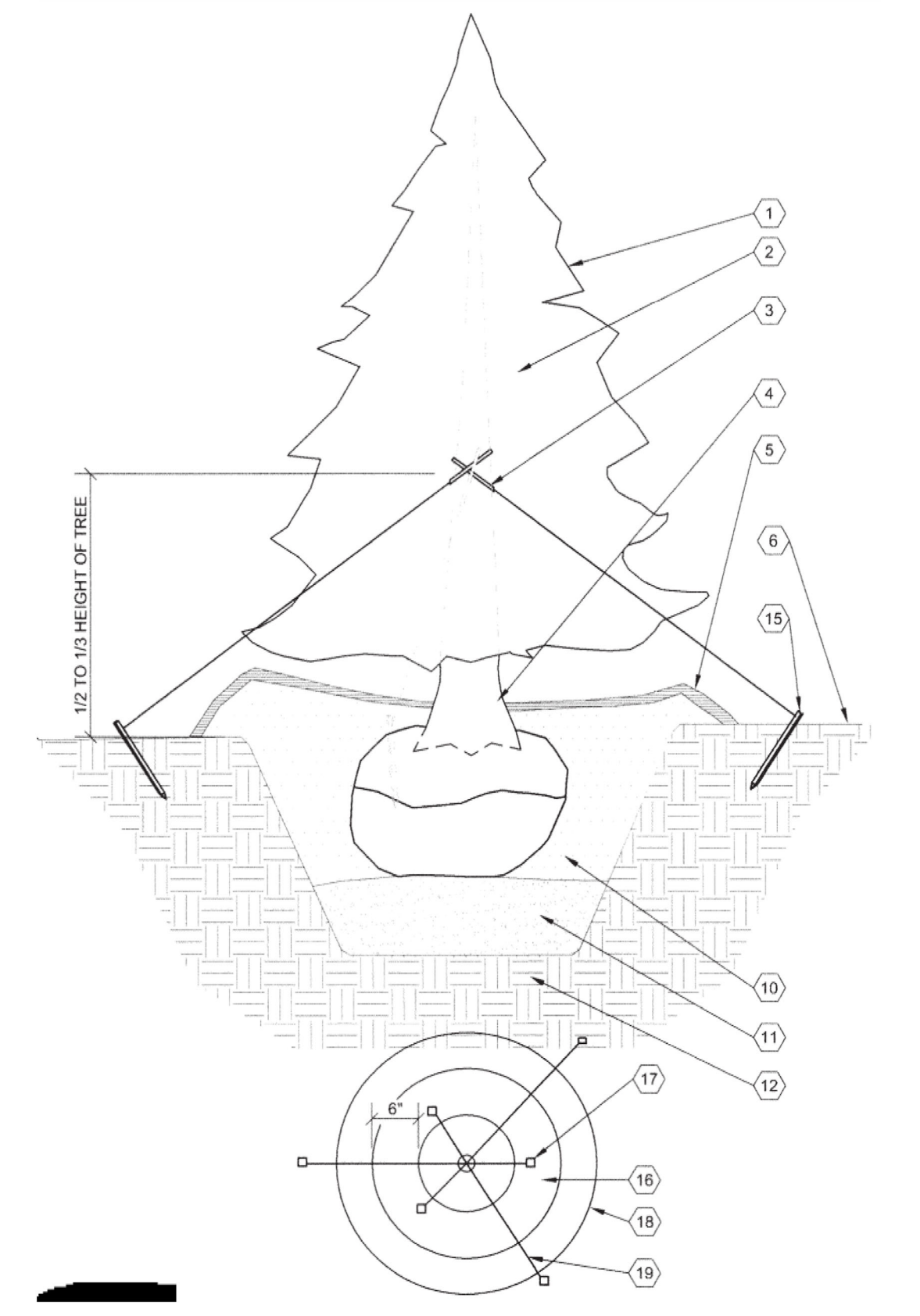
- KEY NOTES**
- 1 PLANTING, REFER TO PLANTING SCHEDULE FOR TYPES.
 - 2 SET TREE LEVEL AND PLUM. STRAIGHTEN AFTER SETTLEMENT IF NEEDED.
 - 3 ENCASE WIRE AROUND TRUNK IN BLACK RUBBER. MOVE UP ABOVE EQUAL TO 1/2 TO 1/3 OF THE HEIGHT OF TREE.
 - 4 SET TREE WITH TOP 1/3 OF ROOT ABOVE FINISH GRADE.
 - 5 REFER TO LANDSCAPE PLAN FOR GROUND COVER TYPE AND LOCATIONS. PROVIDE 3" DEEP 5/8" CREEK GRAVEL OVER BLACK 4 MIL VISQUEEN VAPOR BARRIER OR 3" SHREDDED CYPRESS MULCH OVER BLACK 4 MIL VISQUEEN VAPOR BARRIER.
 - 6 LAWN
 - 7 REFER TO SITE GRADING PLAN FOR SLOPE. PLACE THREE PINS EVERY 2'-0", SPACING EQUALLY. SOD SHALL BE COMPOSED OF TWO VARIETIES MINIMUM OF FESCUE GRASS.
 - 8 NOT USED.
 - 9 4" BLACK POLY VINYL EDGING
 - 10 PREFERRED SOIL
 - 11 COMPACTED PLANTING
 - 12 SUB GRADE
 - 13 TWO STRANDS OF WIRE
 - 14 TRUNK WRAP
 - 15 2" X 2" X 10" WOOD STAKES BURY BELOW FINISH GRADE
 - 16 PREPARED PLANTING MIXTURE.
 - 17 TREES 6'-0" IN HEIGHT OR LESS SHALL BE STAKED
 - 18 EXTENTS OF PLANTING BERM TO HOLD WATER
 - 19 TREES TALLER THAN 3'-0" MUST BE TIED.
 - 20 2" X 4" STAKE - OR - METAL FENCE POST
 - 21 1" X 4" X 10" WHITE WOOD FLAG
 - 22 3" DEEP SHREDDED CYPRESS MULCH OVER BLACK VISQUEEN VAPOR BARRIER.



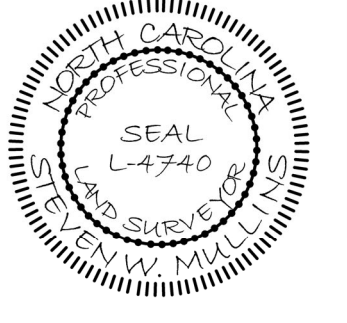
5 Shrub Plantings
C7.1 (Not To Scale)



4 Large Deciduous Tree
C7.1 (Not To Scale)



3 Large Coniferous Tree
C7.1 (Not To Scale)



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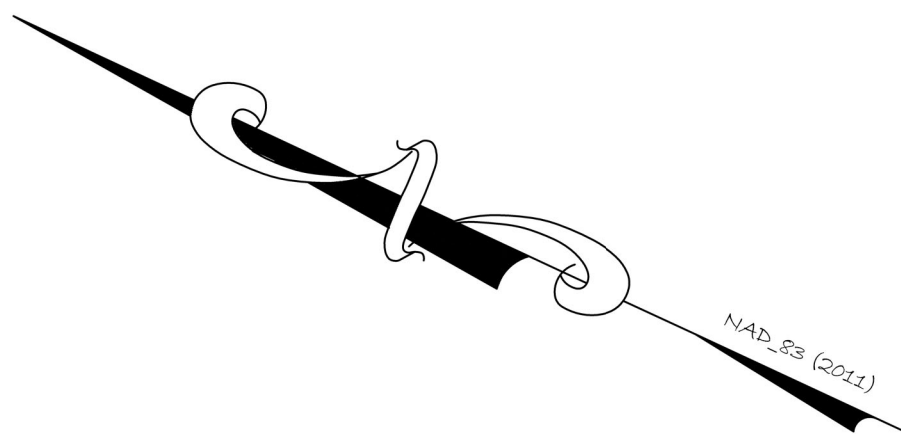
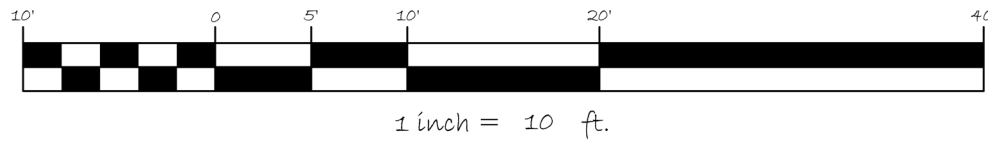
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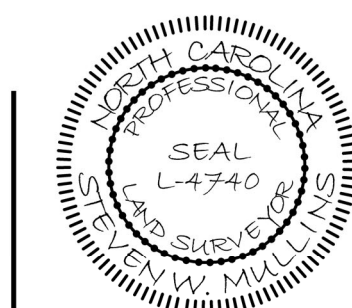
Date:
31 Dec. 2018

Revisions
26 March 2019

C7.1



Know what's below.
Call before you dig.



Project: Home-Place
3203 Tyrone Drive
Sanford, NC 27332
(919) 717-5702

Project: Mt. Carmel Pentecostal
Holiness Church
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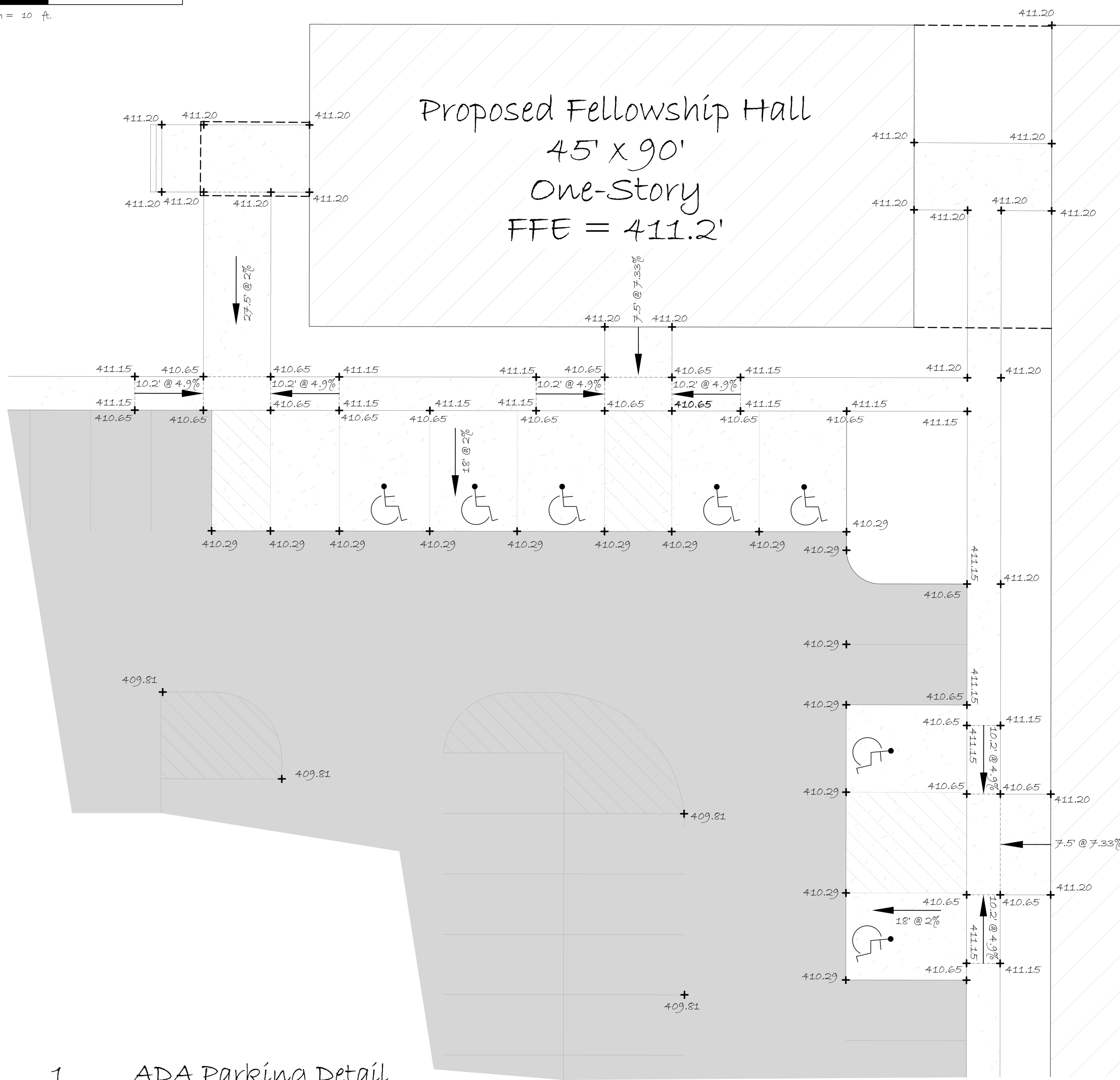
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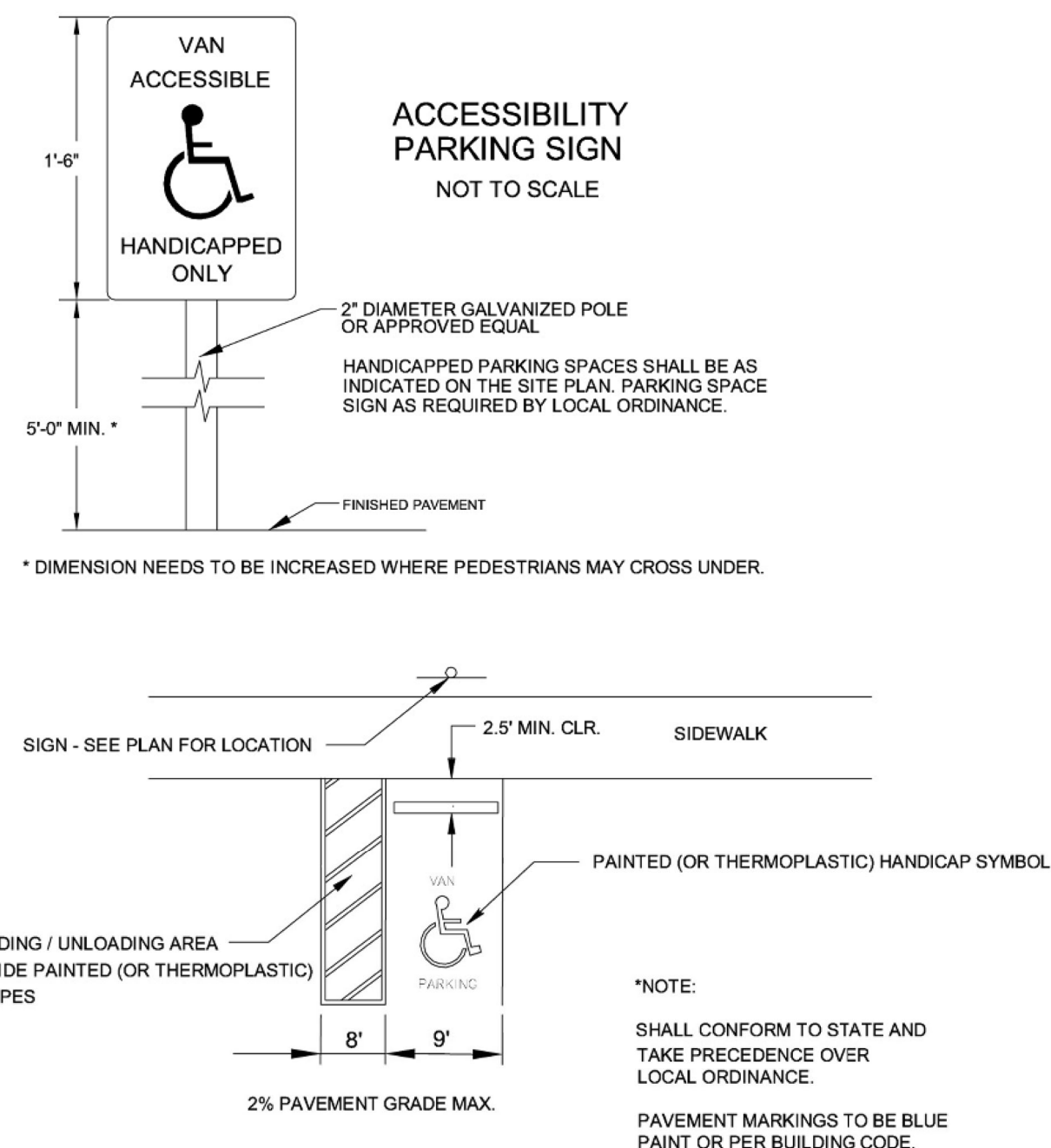
Revisions

26 March 2019

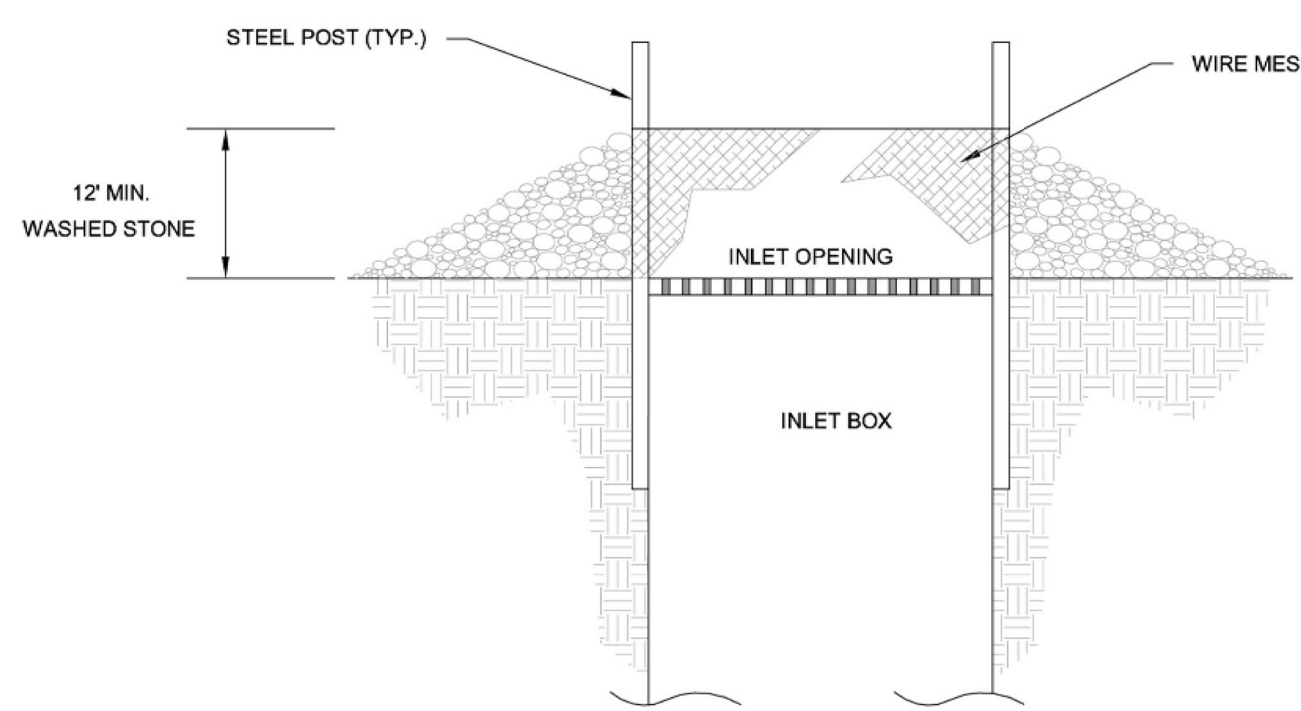
C7.2



Proposed Sanctuary
80' x 180'
500 seat capacity
One-Story
FFE = 411.2'



2 Accessible Parking & Sign Detail
C7.2 (1" = 10')

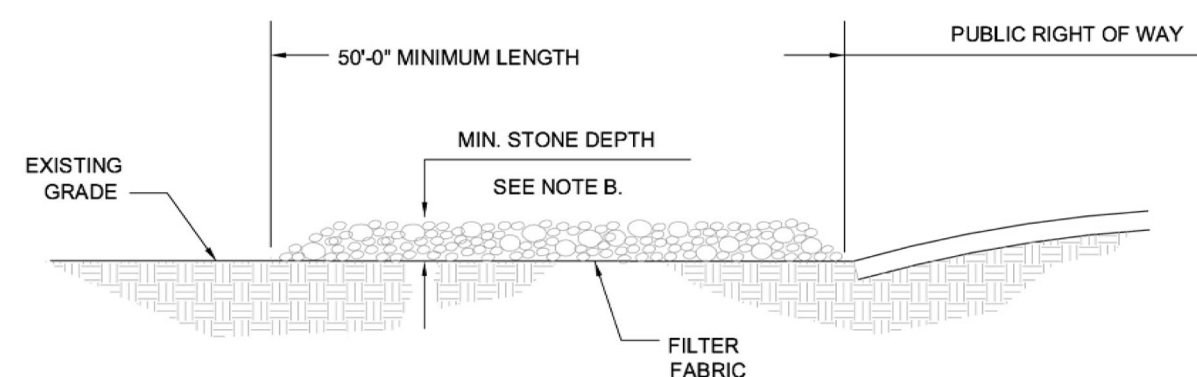


- Construction Specifications**
1. Uniformly grade a shallow depression approaching the inlet.
 2. Drive 5-foot steel posts 2 feet into the ground surrounding the inlet. Space posts evenly around the perimeter of the inlet, a maximum of 4 feet apart.
 3. Surround the posts with wire mesh hardware cloth. Secure the wire mesh to the steel posts at the top, middle, and bottom. Placing a 2-foot flap of the wire mesh under the gravel for anchoring is recommended.
 4. Place clean gravel (NC DOT #5 or #57 stone) on a 2:1 slope with a height of 16 inches around the wire, and smooth to an even grade.
 5. Once the contributing drainage area has been stabilized, remove accumulated sediment, and establish final grading elevations.
 6. Compact the area properly and stabilize it with groundcover.

Maintenance Inspect inlets at least weekly and after each significant (1/2 inch or greater) rainfall event. Clear the mesh wire of any debris or other objects to provide adequate flow for subsequent rains. Take care not to damage or undercut the wire mesh during sediment removal. Replace stone as needed.

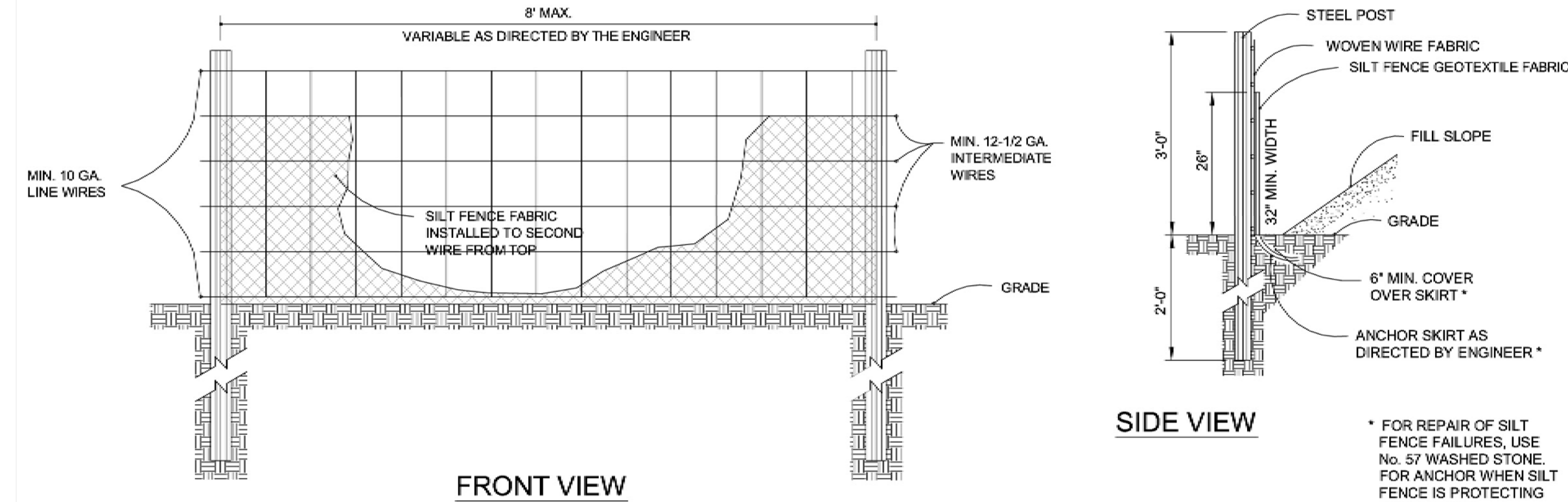
3 Inlet Protection Detail
C7.2 (Not To Scale)

1 ADA Parking Detail
C7.2 (1" = 10')



- NOTES:**
- A) MINIMUM WIDTH OF CONSTRUCTION ENTRANCE PAD SHALL BE 20 FT.
 - B) STONE SHALL BE 2-3" WASHED STONE, 12" THICK.
 - C) THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - D) INSTALL PADS WHERE SHOWN ON PLANS OR OTHERWISE DIRECTED BY ENGINEER.

4 Temporary Construction Entrance
C7.2 (Not To Scale)



- NOTE:**
- USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW
 - END OF SILT FENCE NEEDS TO BE TURNED UP HILL

5 Sediment Fence Detail
C7.2 (Not To Scale)

CAUTION: INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

Know what's below
Call before you dig.

VILLAGE APPRAISERS, LLC

270 McCaskill Road East, Suite B
PO Box 1734
Pinehurst, NC 28370
fdean@pinehurst.net
lqiri@pinehurst.net

November 1, 2019

Sanford/Lee County Zoning & Design Review Department
Attn: Amy McNeill, Zoning Administrator
115 Chatham Street, Suite 1
Sanford, NC 27330

Re: Special Use Permit for 3203 Tyrone Drive, Sanford, NC

Dear Ms. McNeill:

We have been engaged by Henry Harris regarding the potential diminution of value to adjacent or abutting properties as a result of the proposed religious facility at 3203 Tyrone Drive, Sanford, NC. The requirement we have been asked to provide support for is identified below:

3. That the use will not substantially injure the value of adjoining or abutting property, or that the use is a public necessity; and

BASED ON A REVIEW OF COMPARABLE PROPERTIES PREPARED BY A
NORTH CAROLINA LICENSED APPRAISER, THE PROPOSED USE WILL NOT
INJURE THE VALUE OF ADJOINING OR ABUTTING PROPERTY.

Our scope of work for the research to support our affirmation that the “proposed use will not injure the value of adjoining or abutting property” is below.

- We made a site visit to the Carr Creek Estate residential subdivision and the surrounding neighborhood; photographed the subject site and existing improvements; and photographed the adjacent and abutting properties.
- We interviewed market participants, including homeowners, real estate brokers, landlords, and tax assessors.
- We analyzed lease data of properties both adjacent to, and not adjacent to, religious facilities to determine any variance in rents. See the attached study.

The property is currently improved with a factory-manufactured home and several buildings that appear to be in poor condition. Photographs taken on October 5, 2019 are on the following page.



The existing improvements will be removed and the proposed improvements will be constructed on the 7.602-acre site. It is the appraisers' opinion that the removal of the existing improvements alone will be a positive impact on the property value. The improvements will include a 500-seat sanctuary and a 45' x 90' sanctuary with supporting parking and play and recreation areas. The property includes a 15' landscape buffer at the improved portion of the property's north, south, and eastern boundaries.

The adjacent residential properties at the property's eastern boundary are shown below.



3209 Tyrone Drive



3210 Tyrone Drive (tax photo since people were outside on the date of our inspection)

Proximity Study – Change in rent/value due to adjoining or abutting a religious facility:

Below are the average rents for three apartment buildings located in Southern Pines, NC. The first apartment building is located directly across E. Indiana Avenue from Brownson Memorial Presbyterian Church. It would share a property line with the church were it not for the presence of the road. It is considered to be adjoining or abutting the religious facility. The second and third leases are apartment buildings that are also in Southern Pines, but are not adjoining or abutting a religious facility. All of the apartment buildings are similar in size, quality of construction, condition, and effective age. All the rents have similar terms (lease duration and structure). These rents indicate that there is no adverse influence on rents (value) due to adjoining or abutting a religious facility. The rents indicate that adjoining or abutting a religious facility enhances the rents/values.

	<u>Rent No. 1</u>	<u>Rent No. 2</u>	<u>Rent No. 3</u>
Address:	280 E. Indiana Ave.	490 E. Indiana Ave.	165 E. Maine Ave.
Size:	850-sq. ft.	800-sq. ft.	778-sq. ft.
Rent:	\$850 per month	\$700 per month	\$700 per month
Rent per SF:	\$1.00 per month	\$0.88 per month	\$0.90 per month



The ‘paired sales’ technique is used to arrive at a range of indicated adjustments for this characteristic.

	<u>Rent No. 1</u>	<u>Rent No. 2</u>
Rent per SF:	\$1.00 per month	\$0.88 per month
Difference:	[($\$1.00 - \0.88) / $\$0.88$] x 100 = +13.64%	
	<u>Rent No. 1</u>	<u>Rent No. 3</u>
Rent per SF:	\$1.00 per month	\$0.90 per month
Difference:	[($\$1.00 - \0.90) / $\$0.90$] x 100 = +11.11%	

The apartments that are adjoining or abutting a religious facility rent for 11.11% to 13.64% higher than those apartments that do not.

The Coty manufacturing facility owns the 229+/- acres that border the subject's north and west boundaries. The improvements front Broadway Road and there is a wide buffer to the rear of the property that joins the unimproved portion of the Coty property. No negative impact is perceived to this industrial property.

The property that abuts the western boundary is 2.38+/- acres of vacant land with no street access. No negative impact is perceived to this parcel.

Please don't hesitate to contact us with any questions.



Elizabeth Ann Giri
North Carolina State-Certified
General Real Estate Appraiser
Certificate No. A7964



A. Franklin Dean, MAI
North Carolina State-Certified
General Real Estate Appraiser
Certificate No. A5221

CITY OF SANFORD
BOARD OF ADJUSTMENT
PUBLIC HEARING INFORMATION
December 10, 2019

APPLICATION# 2019-1201 FOR A SPECIAL USE PERMIT

APPLICANT: Mt. Carmel Pentecostal Holiness Church
Apostle Julia A. Harris, church representative
Mr. Henry Harris, contact person

PROPERTY OWNER: Mr. Harry B. Williams

LOCATION: 3203 Tyrone Drive, Sanford, NC 27332

TOWNSHIP: Jonesboro

TAX PARCEL: 9661-79-1178-00

REQUEST

Mt. Carmel Pentecostal Holiness Church is currently located at 620 W. Main Street in the Old Jonesboro area of Sanford. The church is interested in purchasing land at the end of Tyrone Drive for future relocation and expansion. Therefore, they are requesting a Special Use Permit (SUP) to allow the construction of a new church sanctuary building, fellowship hall, fenced play areas, parking, and associated amenities.

SITE AREA AND DESCRIPTION:

The subject property is one 8.87 acre \pm tract of land located at the end of Tyrone Drive, which is a paved City maintained public street with a 60ft right-of-way that connects to Carr Creek Drive (the main entrance drive for Carr Creek Subdivision) and dead-ends into the site. The area is zoned Residential Single-family (R-20) and is developed in a residential manner.

STAFF COMMENTS

It appears that there are two mobile homes on site, but only one is addressed. The Lee County Environmental Health Department has a 1991 Well Permit on file, but no information regarding the existing septic system(s). At least one of the mobile homes is occupied at this time.

When/if the church redevelops the site, it plans to connect to public water and public sewer. There is an existing 6-inch water main line along Tyrone Drive that terminates at a fire hydrant at the end of Tyrone Drive (entrance to the site). There is no public sewer along Tyrone Drive at this time, but there is an active sewer petition coordinated by the City of Sanford Engineering Department for which the design should go out to bid in January of 2020. The new sewer main line must be installed and accepted for maintenance by the City and the service connection installed per the NC State Building Code prior to the first building constructed on site passing final inspection and being occupied. If the public sewer line is not installed, a private septic system designed to accommodate the church use must be installed for wastewater. At this time, the church has chosen to process at their own peril, since there is no guarantee that the public sewer will be installed and no perc test has been completed for the development of a church on this site.

Planning staff has determined that the proposed use as new church with a 500 seat capacity falls within the “religious complex (more than 350 seats) new site” land use category. Per the UDO, this use is permitted in the Residential Single-family (R-20) zoning district only where approved by the Board of Adjustment through the issuance of a Special Use Permit. There are no specific design standards associated with this use.

Adjacent Zoning - North: Residential Single-family (R-20) and Light Industrial (LI)
South: Residential Single-family (R-20)
East: Residential Single-family (R-20) and Light Industrial (LI)
West: Residential Single-family (R-20)

ATTACHMENTS

- GIS maps of subject property
- Unified Development Ordinance (UDO) references
- Legal Notice for Special Use Permit Application
- Adjoining Property Owner Notification of Public Hearing
- Certification of Adjacent Property Owner Notification
- List of Adjoining Property Owners
- Special Use Permit Hearing Procedures

REQUIRED FINDINGS FOR A SPECIAL USE PERMIT

Special Use Permits provide a form of discretionary approval for certain uses which are generally compatible with the land uses permitted by right in a zoning district, but which require individual review of their location, design and configuration. Special Use Permits ensure the appropriateness of the use at a particular location within a given zoning district. The Board of Adjustment shall consider the application, supporting documents, the site plan and examine factual evidence presented at the hearing before ruling on the following four findings of facts.

In granting the Special Use Permit, the board shall find:

1. That the use will not materially endanger the public health or safety if located where proposed and developed according to the application and plan as submitted and approved.
2. That the use meets all required conditions and specifications.
3. That the use will not substantially injure the value of the adjoining or the abutting property, or that the use is a public necessity.
4. That the location and character of the use, if developed according to the application and plan submitted and approved, will be in harmony with the area in which site is located and in general conformity with all adopted land use plans.

The Special Use Permit, if granted, shall include approval of the preliminary site plan. The Board may place conditions on the use as part of the approval to assure that adequate mitigation measures are associated with the use to lessen the impact or intensity of the use on the surrounding area. All conditions shall become a part of the SUP approval and shall be included/illustrated on the final site plan, which is provided to staff after the SUP is approved, but prior to the development of the site. The SUP shall run with the land and shall be binding on the original applicants, their heirs, successors and assigns. Violations of the SUP, including any conditions placed thereon, shall be treated as a violation of the local zoning ordinance.

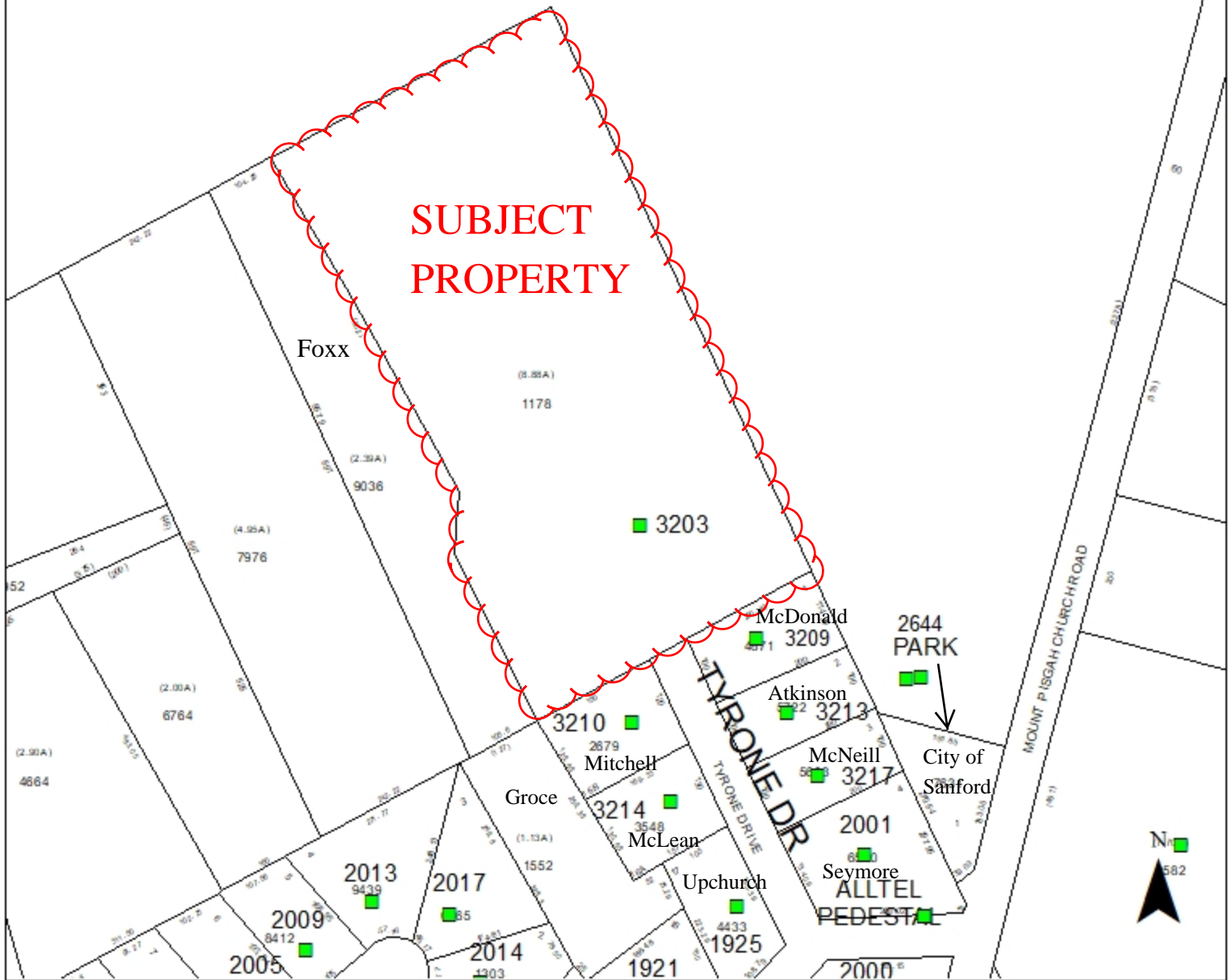
Minor field alterations or minor revisions to an approved SUP may be approved by the Administrator if the intent of the standards established with the original approval are still met and the alterations/revisions are limited to changes that do not increase the intensity, density, or character of the use. If the Administrator determines that the change is not minor, the Board of Adjustment must approve the alterations/revisions.

Please reference the application for specific information regarding how the applicant has addressed the criteria for the SUP request.

This decision of the board is effective upon filing the written decision with the Clerk to the Board. Decisions of the Board of Adjustment shall be appealed to the Lee County Superior Court within 30 days of the final decision.

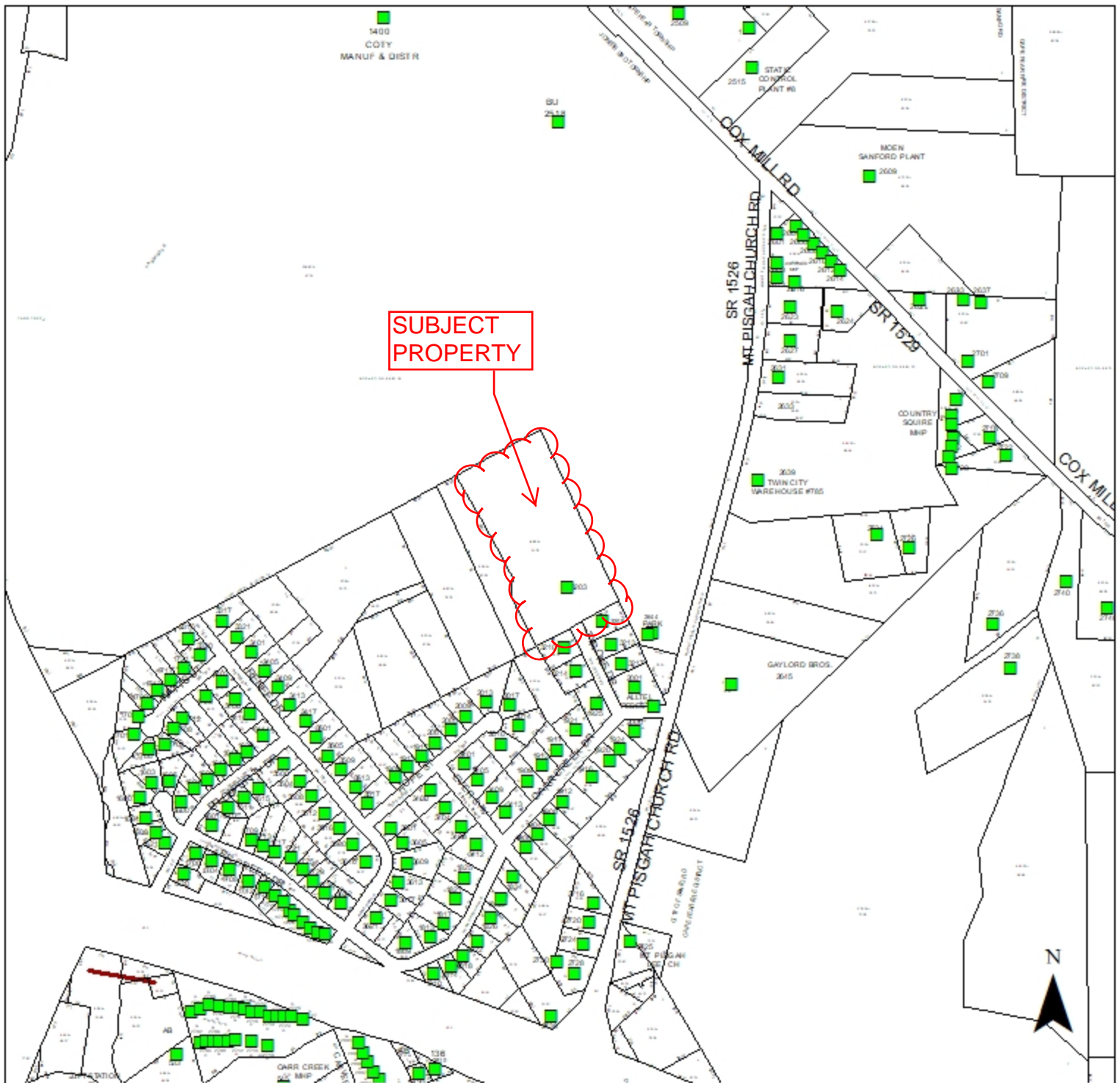
Coty US, Inc.

SUBJECT PROPERTY



SPECIAL USE PERMIT APPLICATION 2019-1201
 Application by Mt. Carmel Pentecostal Holiness Church
 for a Special Use Permit to allow the development
 of a new church/religious institution (more than 350 seats)
 on a 8.87 acre tract of land zoned Residential Single-family (R-20)
 at the end of Tyrone Drive, adjoining Carr Creek Subdivision.

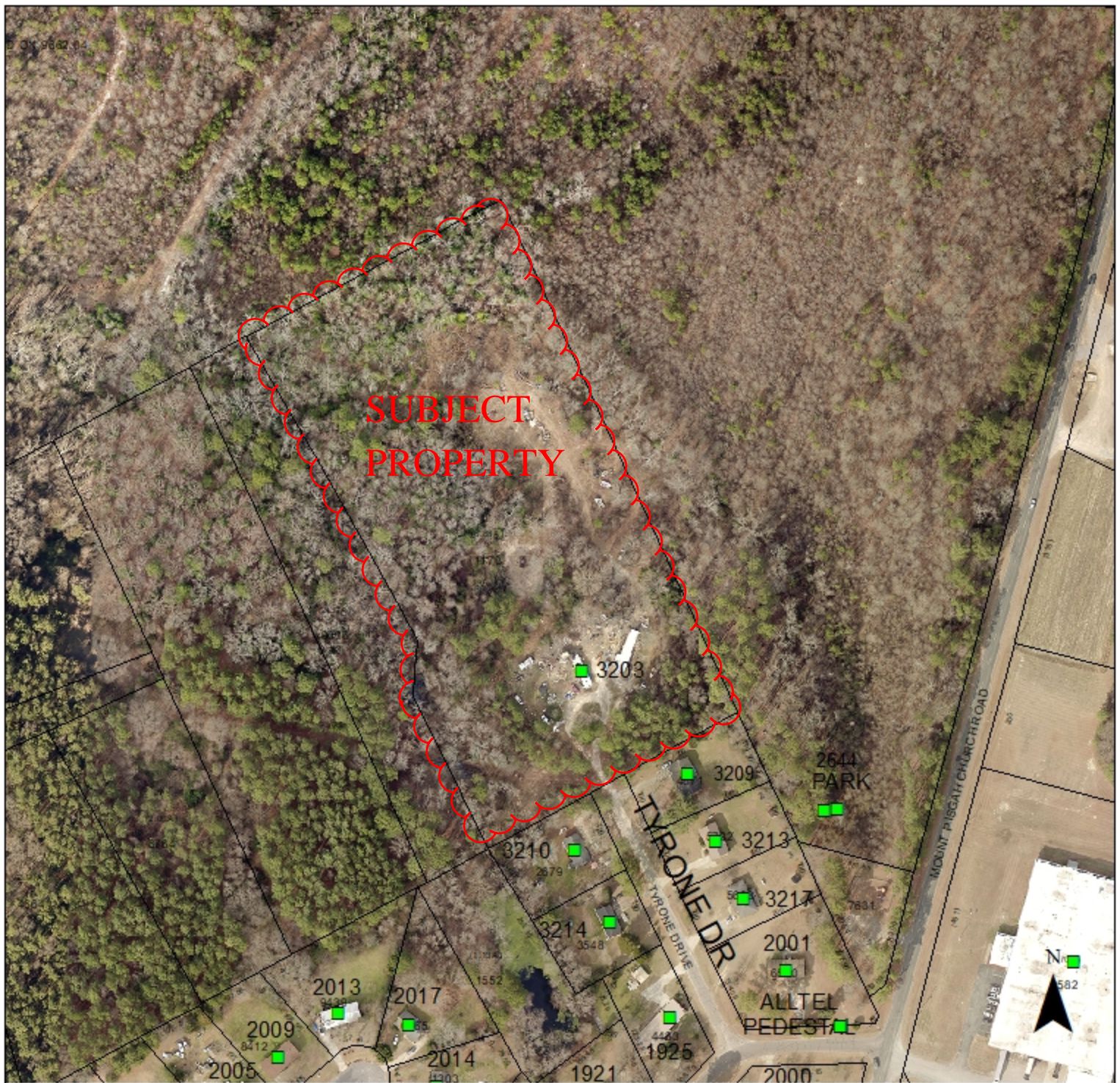
The subject property is developed with a mobile home addressed as 3203 Tyrone Drive and is identified as Lee County Tax Parcel 9661-79-1178-00.



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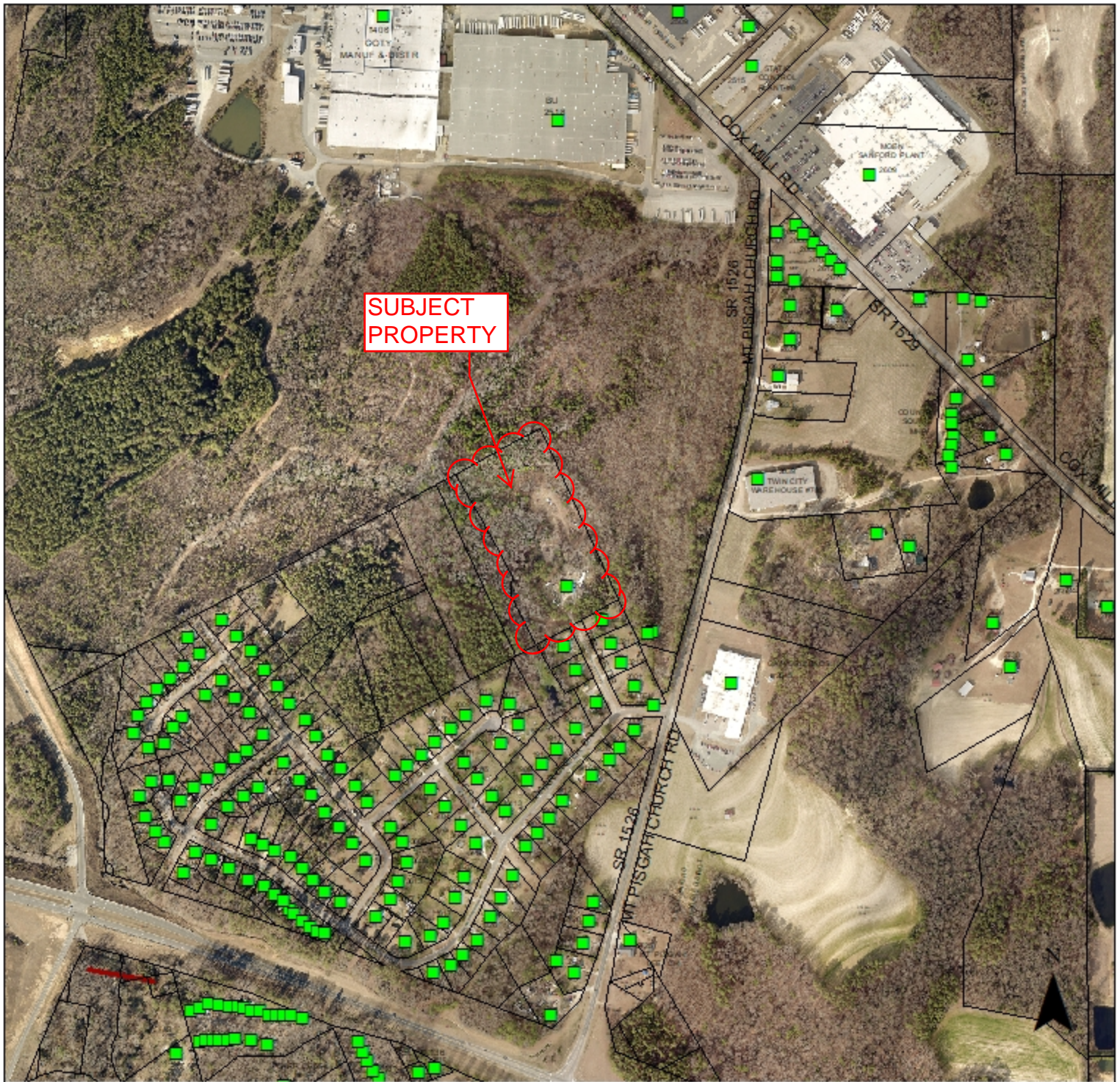
This is a graphic illustration and not a legal document.



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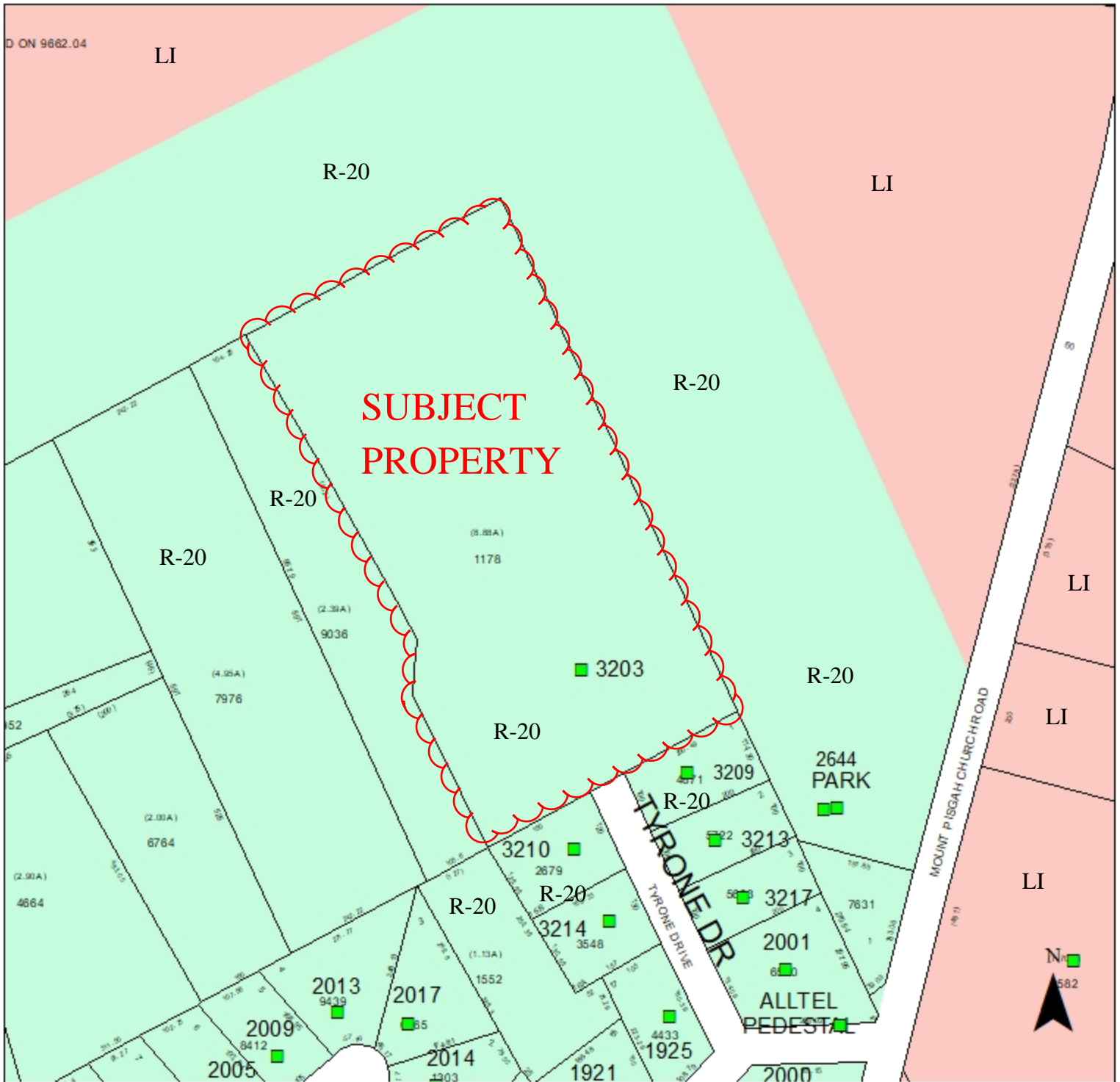
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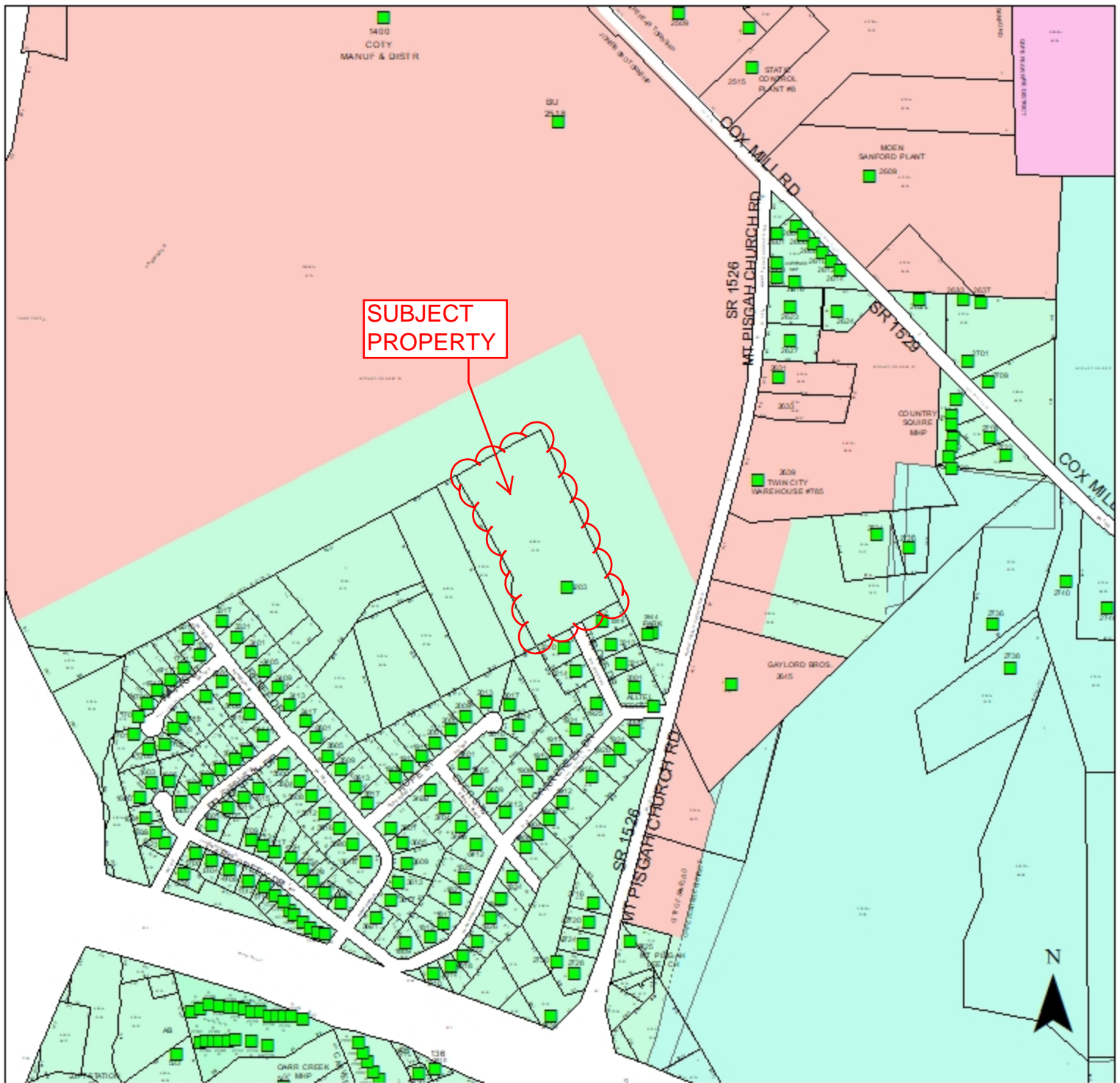
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Key: "P" means permitted as of right, "S" means permitted as a special use, "D" means development regulations apply (see Article 5), "A" means permitted only as an accessory use, "-" means prohibited. Section numbers as provided in the use column(i.e. § 5.1) provide additional reference regarding the supplemental design standards as found within other sections of this Ordinance. Refer to Appendix A or the sources referred to under "Land Use Coding" for specific definitions of uses.

Use	LBCS Function		LBCS Structure																	
			RA Residential Agricultural	RR Restricted Residential	R-20 Residential Single-Family	R-14 Residential Single-Family	R-12SF Residential Single-Family	R-12 Residential Mixed	R-10 Residential Mixed	R-6 Residential Mixed	MF-12 Multifamily	NC Neighborhood Commercial	HC Highway Commercial	C-1 Light Commercial & Office	C-2 General Commercial	O&I Office & Institutional	CBD Central Business District	LI Light Industrial	HI Heavy Industrial	
Community food services (see § 5.7)	6563		-	-	-	-	-	-	-	-	-	-	-	-	P/D	P/D	-	-	P/D	-
Correctional facilities (see § 5.9)	6222	4600	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P/D
Crematorium & Embalming	6720	4800	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P
Day Care facility, Child Care Center (see § 5.10)	6562		S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	P/D	P/D	P/D	P/D	P/D	-	-	-
Day Care facility, Home Child Care (see § 5.10)	6562		P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	-	-	-
Day Care facility, Adult (see § 5.38)	6566		S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	P	P	P	P	P	P	-	-	-
Fire, sheriff, and emergency services	6400-6430	4500-4530	S	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P	P
Funeral homes	6710	4800	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P
Governmental Functions, not otherwise listed	6200 - 6221		S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P	P	P
Hospitals	6530	4110	-	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-
Libraries		4300	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	-	-	-
Medical and dental clinics or offices, ambulatory or outpatient care, family planning and care, and blood or organ banks	6510 - 6514	4120	-	-	-	-	-	-	-	-	-	S	P	P	P	P	P	-	-	-
Post office	6310		-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P
Religious Complex (less than 350 seats), new site	6600	3500	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	P	P
Religious Complex (more than 350 seats), new site	6600	3500	S	S	S	S	S	S	S	S	S	P	P	P	P	P	-	P	P	P
Religious Complex (any size), addition to existing complex/site	6600	3500	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Schools, Continuing Education (alternative, adult, colleges and universities, and technical, trade, and other specialty schools)	6124-6144 6147	4220	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P	P	P
Schools, Pre-K – Secondary (nursery and preschool, grade schools, elementary, middle, and high school), new site	6110-6123	4210	S	S	S	S	S	S	S	S	S	P	P	P	P	P	S	S	S	S
Schools, Pre-K – Secondary (nursery and preschool, grade schools, elementary, middle, and high school), addition to existing site	6110-6123	4210	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Schools, Fine and Performing Arts	6145		-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	-	-
Social assistance, welfare and charitable services	6560-6568		-	-	-	-	-	-	-	-	-	S	S	P	P	P	S	S	-	-
Transportation, Communication, and Utilities																				
Airports, Heliports, and Support Establishments	4110-4114	3920 5600-5650	S	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P

CITY OF SANFORD LEGAL NOTICE

Notice is hereby given that the City of Sanford Board of Adjustment will conduct a public hearing on Tuesday, December 10, 2019 in the Buggy Conference Room on the first floor of the Historic Buggy Company Building at 115 Chatham Street, Sanford, NC. The public hearing will begin at 6:00p.m. or as soon thereafter as deemed practical by the Board to consider the following application:

1. Application by Mt. Carmel Pentecostal Holiness Church to obtain a Special Use Permit for a proposed religious complex (more than 350 seats) to be located on an 8.87 acre tract of land at the end of Tyrone Drive, adjoining Carr Creek Subdivision. The subject property is owned by Harry B. Williams and is developed with a mobile home addressed as 3203 Tyrone Drive. The site is located within the jurisdiction of the City of Sanford and is zoned Residential Single-family (R-20). Per the Unified Development Ordinance, Article 4 Zoning District Regulations, Section 4.6 Use Regulations, Table 4.6-1 Permitted Use Matrix, a new “religious complex (more than 350 seats) new site” is permitted in the Residential Single-family (R-20) zoning district upon issuance of a Special Use Permit, subject all applicable standards of the UDO. The property is depicted on Lee County Tax Map 9661.02 as Tax Parcel 9661-79-1178-00 Lee County Land Records.

The public is cordially invited to attend this quasi-judicial hearing. Due process requirements for quasi-judicial decisions mandate that certain standards be observed when these decisions are made. This includes the right of parties for or against the proposal to offer evidence, have sworn testimony, and have findings of fact supported by competent, substantial and material evidence. All interested parties have the right to be represented by an attorney.

Further information may be obtained by contacting the Sanford/Lee County Zoning & Design Review Department at 115 Chatham Street, Sanford, NC 27330 or by calling 919-718-4656. Upon request and with 24-hour notice, the City will provide an interpreter for the hearing impaired or any other auxiliary aid.

Cualquier ciudadano que tenga preguntas o comentarios de las cosas al referido, puede comunicarse a el departamento de desarrollo para Sanford/Condado de Lee, llame al (919) 718-4656.

Thank you.

By Bonnie White, Clerk
City of Sanford

Please publish in the Legal Notices Section of the Sanford Herald on Saturday, November 30, 2019 and Friday, December 6, 201. If you have any questions regarding this notice, please call Amy J. McNeill at 718-4656, ext. 5397. Charge to Account 30031885 and refer to as City of Sanford Board of Adjustment Notice.

Please send publisher's affidavit to the Sanford/Lee County Community Development Dept., P.O. Box 3729, Sanford, NC, and attention: Angela Baker. Thank you.

November 27, 2019

Dear Adjacent Property Owner and/or Nearby Property Owner:

The Unified Development Ordinance of Sanford, North Carolina requires that adjacent property owners be notified when a request for a Special Use Permit has been scheduled for a public hearing before the Board of Adjustment. Please reference the attached maps to determine the location of your property in relation to the subject property.

CITY OF SANFORD PUBLIC NOTICE

Notice is hereby given that the City of Sanford Board of Adjustment will conduct a public hearing on Tuesday, December 10, 2019 in the Buggy Conference Room on the first floor of the Historic Buggy Company Building at 115 Chatham Street, Sanford, NC. The public hearing will begin at 6:00p.m. or as soon thereafter as deemed practical by the Board to consider the following application:

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Further information may be obtained by contacting Amy McNeill, Zoning Administrator for the Sanford/Lee County Zoning & Design Review Department at 919-718-4656, Ext. 5397 or amy.mcneill@sanfordnc.net. The application and site plan submitted for this request are available for viewing Monday-Friday from 8:00 AM to 5:00 PM at the Sanford/Lee County Zoning & Design Review Department located on the first floor of the historic Buggy Company Building at 115 Chatham Street in downtown Sanford, NC. Upon request and with 24-hour notice, the City will provide an interpreter for the hearing impaired or any other auxiliary aid.

Cualquier ciudadano que tenga preguntas o comentarios de las cosas al referido, puede comunicarse a el departamento de desarrollo para Sanford/Condado de Lee, llame al (919) 718-4656.

Thank you.

By Bonnie White, City of Sanford Clerk

Attachment: GIS Maps

ADJACENT PROPERTY OWNER NOTIFICATION CERTIFICATION

I, Amy J. McNeill, hereby certify that the property owners and adjacent property owners of the following Special Use Permit Application, as indicated on the Lee County Tax Maps, were notified by First Class U.S. Mail on Wednesday, November 27, 2019.

1. Application by Mt. Carmel Pentecostal Holiness Church to obtain a Special Use Permit for a proposed religious complex (more than 350 seats) to be located on an 8.87 acre tract of land at the end of Tyrone Drive, adjoining Carr Creek Subdivision. The subject property is owned by Harry B. Williams and is developed with a mobile home addressed as 3203 Tyrone Drive. The site is located within the jurisdiction of the City of Sanford and is zoned Residential Single-family (R-20). Per the Unified Development Ordinance, Article 4 Zoning District Regulations, Section 4.6 Use Regulations, Table 4.6-1 Permitted Use Matrix, a new "religious complex (more than 350 seats) new site" is permitted in the Residential Single-family (R-20) zoning district upon issuance of a Special Use Permit, subject all applicable standards of the UDO. The property is depicted on Lee County Tax Map 9661.02 as Tax Parcel 9661-79-1178-00 Lee County Land Records.

Signature: AMY JO McNEILL Date: 2019-11-27

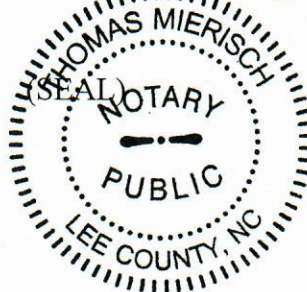
Title: ZONING ADMINISTRATOR

Lee County, North Carolina

I, THOMAS MIERISCH, a Notary Public for Lee County and State of North Carolina do hereby certify that Amy Jo McNeill personally appeared before me on this day and acknowledged the due execution of the foregoing Instrument. Witness my hand and official seal, this the 27TH day of NOVEMBER, 2019.

Thomas Mierisch
Notary Public Signature

My Commission expires 9/30/2023



ADJOINING PROPERTY OWNERS LIST

PETITION BY: Mt. Carmel Pentecostal Holiness Church
 REQUEST: Religious Complex (more than 350 seats, new site) in the Residential
 Single-family (R-20) Zoning District
 LOCATION: 3203 Tyrone Drive, Sanford, NC 27332
 PIN: 9661-79-1178-00
 DATE: 2019-11-27

No.	PIN	PROP ADDR	OWNER 1	OWNER2	M #	MAIL ST	MAILCITY	ST	ZIP
01	9662-60-4701-00	1330-1400 BROADWAY RD	COTY US INC	-	1400	BROADWAY RD	SANFORD	NC	27332
02	9661-69-9036-00	0 HOPE ST	FOXX, EUGENIA	-	418	STONE ST	SANFORD	NC	27330
03	9661-78-1552-00	0 CARR CREEK DR	GROCE, PEGGY F	-	2508	BUCKINGHAM DR	SANFORD	NC	27330
04	9661-78-2679-00	3210 TYRONE DR	MITCHELL, GLENDA FAYE (LIFE EST)	-	3210	TYRONE DR	SANFORD	NC	27332
05	9661-78-3548-00	3214 TYRONE DR	MCLEAN, HERMAN JR	MCLEAN, BETTY SMITH	3214	TYRONE DR	SANFORD	NC	27332
06	9661-78-4433-00	1925 CARR CREEK DR	UPCHURCH, CLAUDE JR	UPCHURCH, LILLIE B	1925	CARR CREEK DR	SANFORD	NC	27332
07	9661-78-6530-00	2001 CARR CREEK DR	SEYMORE, GERALDINE H	-	-	PO BOX 4125	SANFORD	NC	27331
08	9661-78-5663-00	3217 TYRONE DR	MCNEILL, CARLA M	-	3217	TYRONE DR	SANFORD	NC	27330
09	9661-78-5722-00	3213 TYRONE DR	ATKINSON, JANE L	-	-	PO BOX 2723	SANFORD	NC	27331
10	9661-78-4871-00	3209 TYRONE DR	MCDONALD, JACQUELINE M	-	779	CONCOURSE VLG E	BRONX	NY	10451
11	9661-78-7631-00	2664 MT PISGAH CHURCH RD	CITY OF SANFORD	-	-	P.O. BOX 3729	SANFORD	NC	27331
12	9661-79-1178-00	3203 TYRONE DRIVE	OCCUPANT	-	3203	TYRONE DR	SANFORD	NC	27332
13 & 14	APPLICANT:	Mt Carmel Pentecostal Holiness Church c/o Julia Harris	Contact Person: Henry Harris	-	620	W. Main St	SANFORD	NC	27330
15	PROPERTY OWNER :	Harry B. Williams	-	-	11226	Empire Lakes Dr	Raleigh	NC	27617

(0) = No address assigned to this parcel. Typically, it is vacant

Board of Adjustment Special Use Hearing Procedures

1. PRELIMINARY MATTERS

- 1) Note for the record the presence of a quorum.
- 2) Chairman calls the meeting to order.
- 3) Approval of agenda. (Board members may add or delete items upon a majority vote.)
- 4) Approval of minutes of previous meeting.
- 5) Disclosure of conflict of interest and ex-parte communication by Board Members.

Conflict of Interest (Defined under new law) - A member of the board or any other body exercising quasi-judicial functions pursuant to this Ordinance shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons' constitutional rights to an impartial decision maker. Impermissible conflicts include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter. If an objection is raised to a member's participation and that member does not recuse himself or herself, the remaining members shall by majority vote rule on the objection.

- 6) Old Business.
- 7) New Business.

2. SPECIAL USE HEARING

- 1) Chairman to announce the case:

“We will now hold a public hearing to consider the next matter on the agenda, which is the application of: Mr. /Mrs. XXXXXXXXX, seeking a Special Use permit for
“_____.”

- 2) Chairman to read statement:

A Special Use hearing is a quasi-judicial hearing which means that all parties have the right to offer evidence, cross-examine adverse witnesses, inspect documents, have sworn testimony, have the decision based only on evidence that is properly in the hearing record, and have written findings of fact supported by competent, substantial and material evidence.

Since this is a quasi-judicial hearing, it is improper for a member of the Board of Adjustment to discuss this case or to independently gather evidence outside of this hearing.

3) Chairman then ask:

Does any board member have a conflict that they need to disclose?

4) Chairman then states:

Those wishing to testify must be sworn; however, anyone in attendance may ask questions of the person testifying.

5) Chairman then ask the following questions:

A. Are the applicant(s) Mr. /Mrs. _____ present?

B. Are you ready to proceed?

C. Are you represented by counsel?

6) Chairman calls for all witnesses who will testify in favor of the application to come forward to be sworn.

7) Chairman then calls for all witnesses who will testify in opposition to the petition to come forward and be sworn.

8) Chairman then call on the applicant or his counsel to present their case *in favor* of granting the Special Use Permit.

The PROCEDURE with applicant will be as follows:

A) Applicant/counsel testifies

B) Those in opposition cross-examine the applicant/counsel

C) Questions from the Board of Adjustment

D) Redirect examination of applicant/counsel

E) Re-cross examination of applicant/counsel by those in opposition

F) Further questions by Board of Adjustment

G) Questions by public (Must give name and address for the record)

9) Chairman then call on witnesses *in favor* of application to speak, and observe the same procedure as noted above.

10) After the applicant has completed presenting his/her case, Chairman then call upon those *in opposition* to the application to present their witnesses.

The PROCEDURE with witnesses will be as follows:

- A) Witness/counsel in opposition testifies

 - B) Applicant or his counsel cross-examines witness in opposition

 - C) Questions from the Board of Adjustment

 - D) Redirect examination by witness in opposition

 - E) Re-cross examination of witness in opposition by applicant

 - F) Further questions by Board of Adjustment

 - G) Questions by public (Must give name and address for the record)
- 11) Chairman to call the next and each succeeding witness in opposition to speak, and observe the same procedure as noted above)
- 12) After all witnesses for the applicant and those that are in opposition have testified, call upon the applicant to present whatever evidence he/she has in rebuttal. (Note: This is not an invitation to rehash everything the applicant/counsel or those in opposition has gone over in their direct testimony, but is the opportunity to present new evidence that the applicant/council or those in opposition has in rebuttal to what the other has stated.)

The REBUTTAL process:

- A) Applicant/counsel can present any new evidence they have for rebuttal.

 - B) After the applicant/counsel rebuttal has been presented, then the opponents have the opportunity to present any new evidence in rebuttal.
- 13) This would complete the hearing of evidence in the matter unless either party should ask for a chance to present further evidence. This would be a matter within the discretion of the Board.
- 14) Chairman to call on the applicant/counsel to present their summation or argument to the Board in favor of granting the Special Use Permit.
- 15) Chairman to call on those in opposition to present their summation or argument to the Board as to why the Special Use Permit should be denied.

Finally, after all evidence and the rebuttals have been presented,

- 16) The Chairman should summarize the evidence. (The secretary should write this summary down for inclusion in the minutes.)

- 17) The Chairman should tell the parties that the summary is intended to be the record of what has been presented and that they may offer any objections, corrections, or additions that will more accurately present their case.

This concludes the hearing and the Board shall then deliberate and make a decision.

- 18) The Chairman should state for the Board and those in attendance, that the granting of the Special Use Permit is based upon four findings of fact. Each finding requires a majority vote by the Board to be approved. When voting, the Board must render a decision on *each* of the required findings and *must state a reason for approval or denial of *each* finding of fact. (*The Board members should indicate **for each** required finding the evidence on which the finding was based. On the basis of these findings, a Board member should offer a motion either to grant or deny the Special Use Permit. This motion should be discussed and any suitable conditions appended to it.)

- 19) Chairman should also state that if one of the required finding fail, they all fail.

In granting the Special Use Permit, the Board of Adjustment shall find:

1. That the use will not materially endanger the public health or safety if located where proposed and developed according to the application and plan as submitted and approved;
2. That the use meets all required conditions and specifications;
3. That the use will not substantially injure the value of the adjoining or abutting property, or that the use is a public necessity; and
4. That the location and character of the use, if developed according to the application and plan submitted and approved, will be in harmony with the area in which it is to be located and in general conformity with the Land Use Plan for Sanford and Lee County.

Note: Reasonable and appropriate conditions may be imposed upon these permits.

After the Board's decision has been rendered,

This decision is effective upon filing the written decision with the clerk to the board. This decision shall be subject to review by the superior court. If anyone is dissatisfied with the decision of the Board, an appeal may be taken to the Lee County Superior Court within 30 days after the decision has been filed in the clerk to the board in the Planning Department.